

**CITY OF DEXTER
PLANNING COMMISSION
REGULAR MEETING
MONDAY, AUGUST 3, 2015**

I. CALL TO ORDER AND ROLL CALL:

The meeting was called to order at 7:01 PM by Planning Commission Chairman Kowalski at the Dexter Senior Center located at 7720 Ann Arbor Street in Dexter, Michigan with roll call.

Matt Kowalski	Thomas Phillips arr at 7:03	Jim Carty
Alison Heatley	Marni Schmid - ab	James Smith
Scott Stewart - ab	Tom Stoner	

Also present: Michelle Aniol, Community Development Manager; Justin Breyer, Assistant to the City Manager; and Doug Lewan, Carlisle Wortman Associates.

II. APPROVAL OF THE MINUTES

1. Regular Meeting – July 6, 2015

Motion Smith; support Donaldson to approve the minutes of the Regular Meeting of July 6, 2015 as presented.

Unanimous voice vote approval with Phillips, Stewart, and Schmid absent.

III. APPROVAL OF THE AGENDA

Motion Smith; support Carty to approve the agenda as presented.

Unanimous voice vote approval with Phillips, Stewart, and Schmid absent.

IV. PUBLIC HEARINGS

None

V. PRE-ARRANGED PARTICIPATION

None

VI. REPORTS

A. Chairman Report – Matt Kowalski

None

C. Community Development Office Reports – Michelle Aniol

Ms. Aniol provided her report in the packet. In addition she provided the following updates:

- The report should be dated August 3, 2015.
- City Council approved the Site Plan and Special Land use for Strawberry Alarm Clock with a 4-3 vote. Ms. Aniol will meet with the applicant about zoning compliance.
- The temporary sculptures for the Dexter Art Gardens have been selected. Ms. Aniol noted that the Arts, Culture, and Heritage Committee and the Art Selection Committee worked very hard in their selection deliberations.
- MDNR will be coming to Dexter to tour Mill Creek Park on August 18th. The Planning Commission is invited to attend this tour.
- LandUse USA hosted the TMA Tutorial last week. They were expected to provide a pre-study kick-off, but instead presented preliminary results. These results will be shared via DropBox and Planning Commissioners may contact Ms. Aniol for an invitation to view the file.
- Northern United Brewing Company (NUBCO) is slated for the September meeting for onsite dining/food tasting taproom. The area is sited to be 5820 sq. ft., which will provide the 15% maximum sq. ft. for such use. Planning Commission will be asked to consider the compatibility before special use.
- Mr. Aniol met with MEDC and NUBCO about the Technical Assistance Grant for the EcoVolt Pilot Program.
 - Question: Would it be on site? (Yes)
- The Beer Grotto has submitted a request for outdoor seating and there will be a public hearing.
- The next Planning Commission meeting would have been scheduled for Labor Day, but it has been rescheduled for September 8th.

B. Planning Commissioners and Council Ex-Officio Reports

Ex-Officio Report

- Smith distributed a map. Jim Haeussler attended the last City Council meeting to report that he had purchased 80 acres adjacent to Dexter Crossing. This is being combined with another plot of land to create a 120-130 acre block. Mr. Haeussler is looking to plan a development with the goal being to be annexed into the City.
- Mr. Smith suggested that someone speak to Scio Township about acquiring land to provide access to the Research Park.
- Question: Do you know his timing? (No, but the project will be in phases)

- Question: How will annexation be addressed? (He has talked about annexation, but we have to study capacity)

VII. CITIZENS WISHING TO ADDRESS THE COMMISSION

Ted Tear, 8090 Huron St. – Mr. Tear asked questions about the Carpenter Lumber building at 3520 Broad St. and turning the building into a restaurant. Mr. Tear was advised to meet with staff and walk through the process.

VIII. OLD BUSINESS

None

IX. NEW BUSINESS

A. Amendment to Master Plan – Review draft amendments to the Master Plan regarding oil and gas drilling.

Doug Lewan from Carlisle-Wortman presented proposed amendment language to 12-13 pages of the Master Plan. Discussion and possible action regarding the timing of providing notice and setting a public hearing for Master Plan updates.

Motion Donaldson, support Stoner to recommend distribution of draft gas and oil drilling Master Plan amendment language to appropriate jurisdictions for comment and feedback.

Ayes: Carty, Stoner, Smith, Heatly, Donaldson, Phillips, and Kowalski

Nays: None

Absent: Stewart and Schmid

Motion carries

B. Oil and Gas Zoning Update – Review of PA 451 of 1994, the Natural Resources and Environmental Protection Act (excerpt), as amended.

Doug Lewan from Carlisle-Wortman presented information the Natural Rivers law and how zoning could affect gas and oil drilling locations in the City. Discussion regarding zoning and wellhead protection followed. Commission members stated that they would like to see a more comprehensive map with residential zoning overlaid.

C. Zoning Ordinance Update – Kick-off update to the zoning ordinance.

Doug Lewan from Carlisle-Wortman presented information regarding the zoning ordinance, then requested feedback regarding Planning Commissions' priorities. Lewan stated that the document will be reformatted in InDesign, which will allow the City to manipulate the document as may be necessary. Ms. Aniol will provide a hard-copy of the zoning ordinance, and provide sections of the Master Plan as is relevant.

X. PROPOSED BUSINESS FOR NEXT AGENDA

A. Worksession

- i. Master Plan Amendment
Question: Will we be having a work session? (Yes)
- ii. Zoning Ordinance Update

B. Regular Meeting

- i. SPR #2015-03, Medical Office Building, Dan Hoey Road
Final Site Plan
- ii. Zoning Ordinance Update

XI. CITIZENS WISHING TO ADDRESS THE COMMISSION

Justin Breyer – The Huron River has been designated a federally recognized National Water Trail, one of only 18 in the Nation. In turn, the City of Dexter been designated a “Trail Town,” one of five along the Huron River.

XII. ADJOURNMENT

Motion Smith; support Donaldson to adjourn at 8:45 PM.

Unanimous voice vote approval with Stewart, and Schmid absent.

XIII. COMMUNICATIONS

None

Respectfully submitted,

Carol J. Jones
Interim Clerk, City of Dexter

Approved for Filing: _____

Memorandum

To: Chairman Kowalski and Planning Commissioners
Courtney Nicholls, City Manager

From: Michelle Aniol, Community Development Manager

Re: SLU #2015-02 Beer Grotto Outdoor Seating Special Land Use Request

Applicant: Kirsten Sell, Director of Purchasing for the Beer Grotto

Zoning: CBD Central Business District

Date: August 31, 2015

The Planning Commission is scheduled to conduct a public hearing to consider a special land use request submitted for the Beer Grotto, located at 8059 Main Street. The SLU request is for an outdoor seating area in front of the Beer Grotto. The site plan submitted by the applicant calls for the following:

- Six (6) square bistro tables, with a seating capacity of 21; three (3) 4-top tables and three (3) 3-top tables;
- A 5-foot clear unobstructed sidewalk for pedestrian access between the building front and the outdoor seating area;
- A 5-foot 10-inch pedestrian aisle adjacent to on-street parking; and
- A temporary chain barrier with steel posts to enclose the outdoor seating area.

The sidewalk in front of the Beer Grotto measures 11 feet 3 inches wide and expands to a width of 28 feet. Two existing structures limit the size and location of the proposed outdoor seating area and include:

- An existing 10-foot diameter tree and grate
- An existing 20-foot raise planter and tree

The plan calls for the seating area to be located around the existing 20-foot raised planter and tree, while maintaining a 5-foot pedestrian pathway.

The subject site is zoned CBD, Central Business District. According to Section 15(A).03 outdoor cafes and eating areas are permitted as a special land use in the CB District

SPECIAL LAND USE PROCEDURES

The intent of the special land use process is to regulate uses that may be compatible with uses in some, but not all, locations within a particular zoning district. The special land use process is designed to accomplish the following:

- Provide a mechanism for public input on decisions involving more intense land uses.
- Establish criteria for both new development and infill/redevelopment consistent with the City's land use goals and objectives as stated in the City Master Plan.
- Regulate the use of land on the basis of impact to the City overall and adjacent properties in particular.
- Promote a planned and orderly development pattern which can be served by public facilities and service in a cost-effective manner.

- Ensure uses can be accommodated by the environmental capability of specific sites.
- Provide site design standards to diminish negative impacts of potentially conflicting land uses.
- Provide greater flexibility to integrate land uses within the City.

The process for special land use requires the Planning Commission to conduct a public hearing, followed by a recommendation of approval, denial or approval with conditions to City Council. City Council is responsible for taking final action to approve, deny or approve with conditions.

SPECIAL LAND USE CONSIDERATIONS

Staff has reviewed the proposed special land use with respect to the general review standards listed in Section 8.03 of the Zoning Ordinance and the specific standards for outdoor cafes and eating areas outlined in Section 8.11 B. 27 of the Zoning Ordinance, and offers the following comments for your consideration:

- A. *The Special Land Use will be consistent with the goals, objective and future land use plan described in the Dexter Master Plan.*

The future land use map shows the subject site as CBD Central Business District. The CBD is intended to be the core area of the city, which contains a mixture of land uses. The CBD also encourages more intense development with uses such as restaurants, retail and personal service establishments.

The proposed outdoor seating meets the desired mix of uses within the CBD and compliments the existing mix of restaurants and outdoor seating activity currently available in the CBD. Outdoor seating is a use that is typically associated with a food/beverage related commercial business.

- B. *The Special Land Use will be consistent with the stated intent of the zoning district.*

The outdoor seating area is proposed for and by the Beer Grotto, a retail craft beer store and bar/lounge, with limited food service available. Bars, taverns and lounges are uses that are considered customary in a Central Business District, but do require special land use approval. The Beer Grotto received special land use approval in December 2013. As noted in the Zoning Ordinance the intent of the CBD is to encourage improvements that add to the character, social and environmental diversity of the downtown area and to foster an appealing high-density pedestrian environment. Uses along the primary streets, including Main Street, are retail and eatery uses.

The intent of the outdoor seating area is to increase the number of guests that the establishment can serve and bring more people downtown. Outdoor seating will also compliment the city's vibrant downtown by providing a place for people to relax and enjoy Dexter. Outdoor seating will also "add to the character and social environment" in the downtown.

- C. *The Special Land Use will be designed, constructed, operated and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity in consideration of environmental impacts, views, aesthetics, noise, vibration, glare, air quality, drainage, traffic, property values or similar impacts.*

The applicant is proposing six (6) bistro style tables with chairs to accommodate 21 patrons. A 5-foot wide area between the building front and the proposed outdoor seating would provide unobstructed pedestrian access. A removable chain barrier with steel posts is proposed as required for establishments serving alcohol.

Pursuant to Section 8.11, sub-section B. 25, outdoor seating must also meet the following requirements:

- a. *Pedestrian Circulation:* To allow for pedestrian circulation, a minimum of five feet of clear sidewalk along the street frontage, and leading to the entrance to the establishment shall be maintained free of any encumbrances. A minimum of ten feet of sidewalk width must be provided to accommodate outdoor seating, if outdoor seating is placed on the public sidewalk. The sidewalk in front of the Beer Grotto measures 11 feet 3 inches wide and expands to a width of 28 feet. A 5-foot wide area between the building front and the proposed outdoor seating would provide unobstructed pedestrian access.
- b. *Street Corner Clearance:* When outdoor seating is located at a street corner, a ten-foot setback from the corner of the building shall be maintained along both frontages. The proposed use is not located at a street corner.
- c. *Enclosure:* Planters, posts with ropes, or other removable enclosures are encouraged and shall be used as a way of defining the area occupied by the outdoor eating area. If liquor is served a removable enclosure is required. The State of Michigan Liquor Control Commission (LCC) requires that outdoor seating areas serving alcohol be enclosed. The applicant has provided information on the proposed enclosure. The proposed enclosure is typical for outdoor seating areas in the city.
- d. *Canopies and umbrellas:* Extended awnings, canopies, or large umbrellas shall be permitted and located to provide shade. Colors shall complement building colors. The applicant did not provide information regarding the type or color of umbrellas that may be used. If umbrellas are desired, the applicant must provide the required information. Staff notes the applicant will be required to provide examples of the umbrellas upon submittal of the outdoor seating application.
- e. *Street Furniture:* Tables, chairs, planters, trash receptacles, and other elements of street furniture shall be compatible with the architectural character of the building where the establishment is located. Photographs, drawings or manufacturers brochures fully describing the appearance of all proposed tables, chairs, umbrellas, awnings, canopies, or other fixtures related to the outdoor seating area shall be included with the application. The applicant has provided cut-sheets showing the design and color of tables, chairs and enclosure post and chain. The proposed street furniture and enclosure materials are compatible with the architectural design of the building.
- f. *Signage:* No additional signage is proposed or permitted.
- g. *Trash:* The operators of the establishment shall be responsible for keeping the outdoor eating area and the immediately adjacent area, clean and void of litter at all times. The applicant has not proposed any additional trash receptacles. Trash will be taken care of by servers serving the area. The applicant is responsible for keeping the area clean and void of litter at all times.
- h. *Hours of Operation:* The City may restrict the hours of operation for outdoor seating areas immediately abutting residential districts. Applicants may on a case-by-case basis request to allow outdoor seating furniture remain outdoors (overnight). The applicant has indicated that the tentative hours of operation for the outdoor seating will be from 3 -10pm Monday thru Friday, from 11am-11pm on Fridays and Saturday and from 4pm-8:30pm on Sundays. Outdoor seating will not be provided in the winter and the tables and chairs will be removed and stored.

The applicant is proposes to leave the tables and chairs outdoors in the evening. The applicant has indicated that the tables and chairs will be secured each evening to prevent theft.

- i. *Public Safety: Outdoor seating furniture and elements such as umbrellas and awnings, associated with outdoor seating furniture, must be of substantial weight so that at no time will the outdoor seating furniture present an obstruction or risk to public safety. Proposed outdoor seating materials should be reviewed and considered on a case-by-case basis. If the outdoor seating furniture and elements associated with outdoor seating furniture is temporary in nature it is the responsibility of the proprietor to remove the outdoor seating furniture during inclement weather. All umbrellas should be closed and removed each evening. The City of Dexter accepts no liability for any injury/damage caused by outdoor seating furniture. Applicants for outdoor seating will also be required to sign and submit the City's Hold Harmless Agreement. It is the responsibility of the applicant to remove the outdoor seating during inclement weather. Based on the seating examples provided it appears that the outdoor seating furniture is of substantial weight so that it should not present an obstruction or risk to the public safety. The applicant will also be required to submit the City's hold harmless agreement at time of preliminary zoning compliance, and annually thereafter.*
- D. *The Special Land Use will not significantly impact the natural environment. No additional impacts to the natural environment are anticipated since the site is already developed.*
- E. *The Special Land Use can be served adequately by public facilities and services such as police and fire protection, schools, drainage structures, water and sewage facilities, and refuse disposal. The site is currently served adequately by public facilities and services.*
- F. *The proposed use shall be of a nature that will make vehicular and pedestrian traffic no more hazardous than is normal for the district involved. The applicant is also proposing a 5-foot pedestrian pathway, as required.*
- G. *The proposed use shall be such that the location and height of buildings or structures, and the location, nature and height of walls, fences, and landscaping will not interfere with or discourage the appropriate development and use of adjacent land and buildings or unreasonably affect their value. The proposed use will occupy an existing sidewalk and be utilized and maintained by an existing business.*
- H. *The proposed use shall be designed, located, planned, and operated to protect the public health, safety, and welfare. Negative impacts to the health, safety, or welfare to the public are not anticipated.*

CONCLUSIONS

1. Outdoor seating area is a use typically associated with a food/beverage related commercial business. The proposed Beer Grotto outdoor seating area is consistent with the desired mix of uses identify in the Master Plan for the Central Business District.
2. The proposed use is consistent with the intent of the CBD Central Business District.
3. The proposed use would be compatible with the existing character of the general vicinity.
4. The proposed use will not significantly impact the natural environment.
5. The proposed use will be adequately served by public services.
6. The proposed use should not be more hazardous to vehicle and pedestrian traffic than is normal for the district.

7. The proposed use would comply with the height, yard setbacks, and lot coverage and size regulations for structures in the Central Business District.
8. The proposed use meets the requirements for pedestrian circulation, street corner clearance, enclosure, canopies/umbrellas, street furniture, signage, trash, hours of operation and public safety.

SUGGESTED MOTIONS – Outdoor Seating, 8059 Main Street (Beer Grotto)

Based on the information provided at the September 8, 2015 Planning Commission meeting and pursuant to Section 8.03, Special Land Use review standards, the Planning Commission recommends that the City Council (**APPROVE/ DENY**) the Special Land Use application for the Outdoor Seating at the Beer Grotto, located at 8059 Main Street.

The Special Land Use permit is granted with the following conditions:

1. _____
2. _____
3. _____

OR

Based on the information provided at the September 8, 2015 Planning Commission meeting and pursuant to Section 8.03, Special Land Use review standards, the Planning Commission moves to (**POSTPONE**) the Special Land Use request submitted for the Outdoor Seating at the Beer Grotto, located at 8059 Main Street until (**DATE**), to allow the applicant more time to address the following:

1. _____
2. _____
3. _____



Note: Style may vary.

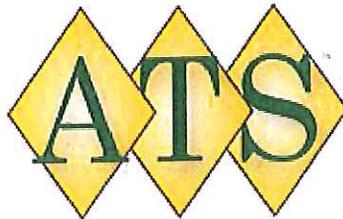
Only

\$58.99/Each

Other Available Sizes:

36" x 36"

Item:	132ALM3030
Units:	Each
Shipping:	Usually Ships in 4-7 Business Days
Reviews:	★★★★★ <u>6 reviews</u>
MFR Item:	ALM3030
Condition:	New



American Tables & Seating, Mfg.

Details

This durable 30" x 30" square iron mesh top outdoor table features an attractive black powder coated finish and an umbrella hole, making it perfect for your pool deck, outdoor cafe or outdoor patio.

Dimensions:

Length: 30"

Width: 30"

Height: 29"

This Item Ships via Common Carrier. For more information and tips to help your delivery go smoothly, click [here](#).

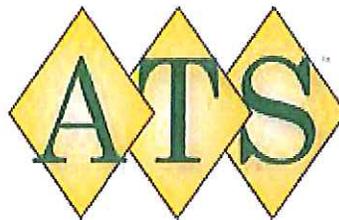
Because this item is not stocked in our warehouse, processing and transit times will vary. If you need your items by a certain date, please contact us prior to placing your order. Expedited shipping availability may vary. We cannot guarantee that this item can be cancelled off of the order once it is placed.



Only
\$55.99/Each

✓ Industry standard 300 lb. weight capacity

Item:	13290B
Units:	Each
Shipping:	Usually Ships in 4-7 Business Days
Reviews:	★★★★★ 1 review
MFR Item:	90B
Condition:	New



American Tables & Seating, Mfg.

Details

Provide seating at your pool deck, outdoor cafe, or patio with this American Tables and Seating 90B metal black outdoor chair with mesh design! This durable, welded-frame iron chair features a powder coated finish and a modern mesh-look seat and back design. To complete the look of your outdoor seating area, this chair's mesh design matches other American Tables and Seating outdoor tables. For storage convenience, this chair is stackable. See companion items for matching tables.

Overall Dimensions:

Width: 21"

Depth: 23"

Height: 33"

&
Reviews
>

Cautiontape

Rating:

I needed this for wrapping a gag gift this Christmas. It was reasonably priced and was a huge roll when it arrived. It arrived quickly and met my expectations.

1-3 of 4

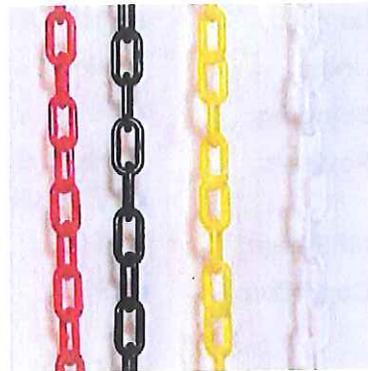


EquiCross Deluxe Full Size Plastic Stanchion with C-Hooks (Pack of 4)

Today: \$75.99 - \$88.99

Earn: \$1.52 | 2% Rewards*

(2 reviews)



EquiCross Plastic Chain - 6mm/1.5 inch (50 Foot Bag)

Today: \$27.99 - \$32.99

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Tatco 6-foot Crowd Control Rope



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EVEN MORE REWARDS

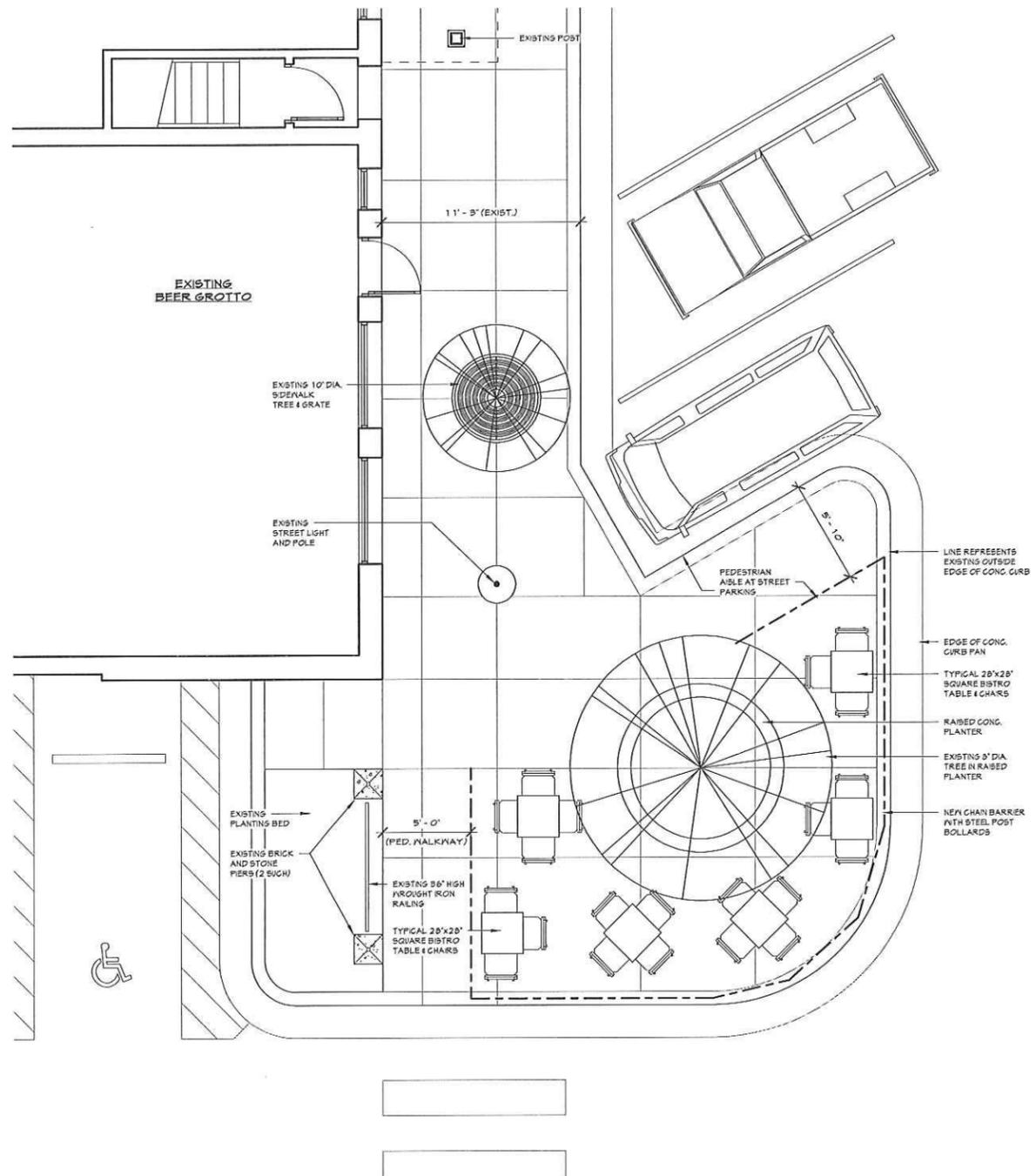
- Get \$20 back with your first use*
- A Free Club O Membership
- Up to 8% back in Club O Rewards

LEARN MORE >

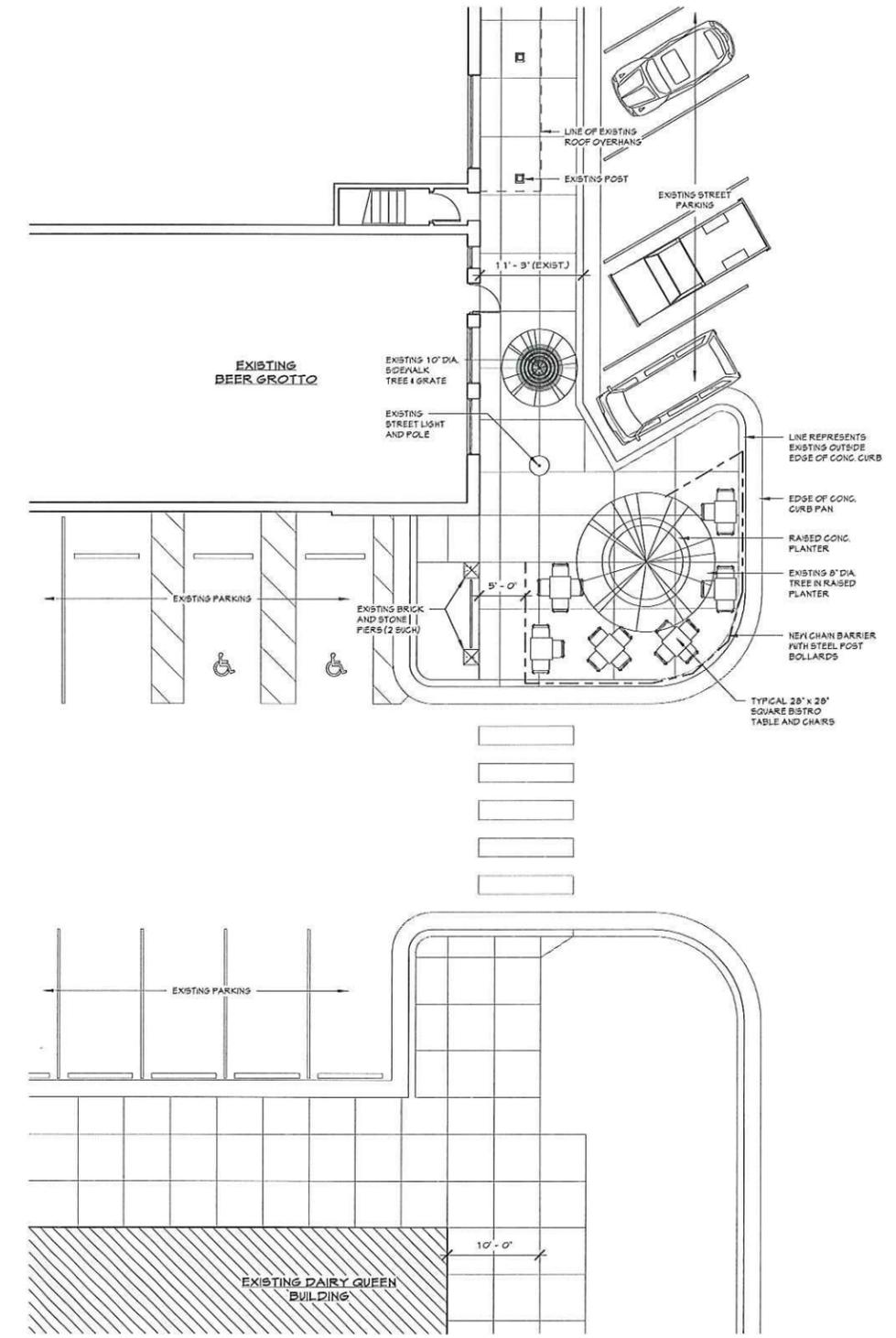
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Enter Email Address _____



2 BEER GROTTO TABLE LAYOUT
 SCALE: 1/4" = 1'-0"
 0' 2' 4' 8' N



1 BEER GROTTO AREA PLAN
 SCALE: 1/8" = 1'-0"
 0' 4' 8' 16' N

SCOTT B. ALLEN
 ARCHITECT
 1401 Red Oak Road
 Ann Arbor, Michigan 48103
 Phone: 734 - 239 - 4863
 Fax: 734 - 996 - 3893

BEER GROTTO AREA & SEATING PLAN
 © COPYRIGHT 2014
The Beer Grotto
 8059 Main Street - Dexter, Michigan 48130

Date: 09-JUN-2015
 Revised:
 Drawn by: sba
 Project #: 1406
 Sheet Number
A1

STAFF MEMORANDUM

To: Matt Kowalski, Chairman and Planning Commissioners
Courtney Nicholls, City Manager

From: Michelle Aniol, Community Development Manager

Re: Final Site Plan Review FSPR #2015-03 Dan Hoey Medical Office, revised plan dated 8-4-2015
Parcel #08-08-08-200-024

Applicant: A. R. Brouwer Company, Allison Bishop, representing

Zoning: Dexter Crossing Planned Unit Development with PB, Professional Business District and ARC Ann Arbor Corridor Overlay District as the underlying zoning

Date: July 28, 2015

On July 27, 2015 City Council voted to approve the preliminary site plan for a medical office building at the southwest corner of the intersection of Dan Hoey Road and Lexington Drive, as recommended by the Planning Commission.

Following this approval, the applicant submitted an application for final site plan review and approval. Details regarding landscaping and stormwater management have been provided on the final site plan.

The final site plan calls for the development of an 8,053 square foot medical office building on vacant property located on the south side of Dan Hoey Road, adjacent to the west of Lexington Drive. Associate site improvements include, ingress/egress, parking, internal sidewalks, exterior lighting, landscaping, stormwater management, and public utilities (i.e. sewer and water).

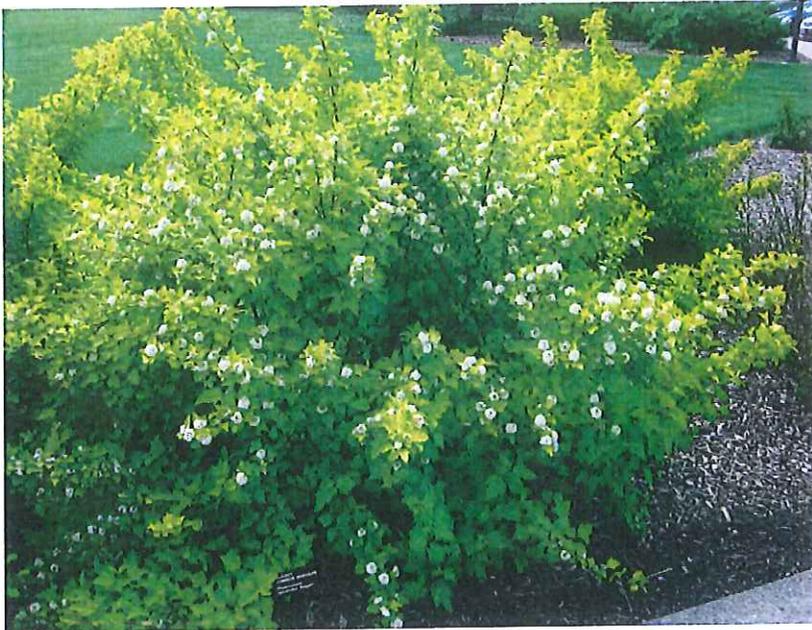
The site is zoned Dexter Crossing Planned Unit Development, with an underlying zoning of PB, Professional Business. The proposed use is consistent with the recorded Area Plan.

CONSIDERATIONS

- A. Loading Space(s). The Planning Commission discussed required parking and loading spaces during preliminary plan review. You may recall the applicant's correspondence, which identified the type and number of deliveries. When the Planning Commission recommended conditional approval of the preliminary site plan to council, included in the motion was the reduced of the number of parking spaces, but overlooked a reduction in the number of loading spaces. Based on the types and number of anticipated deliveries, staff could support a reduction from 3 to 2 loading spaces. Additionally, the location of the loading spaces must be identified on the plan.
- B. Parking Lot Screening. According to Section 6.04, sub-section B, ARC Dexter-Ann Arbor Road Corridor District, the applicant has 3 options for screening the parking lot from the road:
- 1) 10 shrubs per lineal 30 feet (60 shrubs would be required);
 - 2) 5 shrubs per 30 lineal feet and a 3-foot high decorative fence (30 shrubs with fence); or
 - 3) 5 shrubs per 30 lineal feet and a 3-foot high masonry screen wall (30 shrubs with screen wall)

The applicant would like the Planning Commission's approval to substitute 4 trees and an additional 15 shrubs for the 3-foot high decorative fence or masonry wall. Staff could support this substitution, especially since no one single screening option is prevalent throughout the ARC District.

- C. Generator. During preliminary site plan review there was some discussion regarding the location of the generator and the potential negative impacts on the adjacent residential area to the south. The applicant has stated that the location of the generator correlates to the mechanic layout of the building, and that the generator to be installed will be ¼ of the size of the generator that has caused concerns elsewhere in the City. The site plan shows 5 ninebark shrubs along the east side of the generator/transformer. Ninebark is a deciduous shrub, as shown below.



- The location of the trash enclosure will also screen the generator/transformer. While the ninebark shrub would be a beautiful screen during the spring and summer months; it's not likely to provide adequate screening during the fall and winter months. Staff recommends the Planning Commission consider an upright evergreen screen be provided on the south and east sides of the generator/transformer, in place of the proposed deciduous shrubs.
- D. Decorative Building Mounted Lights. The applicant is proposing an architecturally decorative wall mounted fixture for all elevations of the building. The planning consultant correctly identified that the zoning ordinance requires 1) all non-residential uses to have full-cut-off shades for lighting sources, 2) light must be directed downward and away from adjoining properties, and 3) building mounted fixtures shall be parallel to the ground. Staff would like to note that the site is subject to the standards of the ARC Dexter-Ann Arbor Road Corridor Overlay District, which requires that site elements, including lighting be coordinated and compatible with the building design and harmonious with the intended character of the District. The proposed fixtures would meet the requirements of the ARC District.
- E. Signage. According to Section 7.04, sub-section (1)B, signage within PUD District shall be determined during the PUD plan review process. This requirement was established after the Dexter Crossing PUD was approved and signage was not determined during the Dexter Crossing PUD plan review. Furthermore, if details, such as location, type, size, area and height of signs, are not known at time of final site plan submittal, the ordinance requires that a notation be added to the plan to indicate all future signage must conform to current regulations in the City's Zoning Ordinance. The proposed building and ground signage does not contain the details needed to determine compliance with the current sign regulations, and should be removed from the plan. The above cited notation requirement must be added to the plan, as well.

F. Engineers Review. According to the engineering consultant, the plans are acceptable and ready for construction contingent on the receipt of the following:

- 1) Corrected outlet control design for the proposed forebay treatment
- 2) Act 399 Water Supply Permit
- 3) Washtenaw County Soil Erosion Permit (with preliminary zoning compliance application)
- 4) Dexter R.O.W. permit (with preliminary zoning compliance permit)

Accompanying this memo you will find the following documentation:

- Application for Final Site Plan Review
- AR Brouwer Response Letter dated, August 31, 2015
- Cover letter from Washtenaw Engineering dated, August 10, 2015
- Site Plan revision dated, August 4, 2015
- Review letters from:
 - CWA dated, August 24, 2015,
 - OHM dated August 25, 2015, and
 - DAFD, dated September 1, 2015.

RECOMMENDATIONS

If the Planning Commission is prepared to take action on the above referenced final site plan and, staff would advise an affirmative recommendation to the City Council with the following conditions:

1. A reduction in the number of required loading spaces from 3 to 2, and the location of the loading spaces must be identified on the plan;
2. The substitution of 4 deciduous trees and an additional 15 shrubs for the 3-foot high decorative fence or masonry wall to screen the parking lot from the road;
3. Require an upright evergreen screen be provided on the south and east sides of the generator/transformer, in place of the proposed deciduous shrubs;
4. The proposed architectural lighting fixtures meet the requirements of the ARC District;
5. Remove proposed building and ground mounted signage from the plan, and add a notation to the plan that indicates all future signage shall conform to current regulations in the City's Zoning Ordinance.
6. Recommendations cited in the OHM review letter dated, August 25, 2015; and
7. Recommendations cited in the DAFD review letter dated, September 1, 2015.

SUGGESTED MOTIONS –Dan Hoey Medical Office Building Final Site Plan Review

Based on the information provided by at the September 8, 2015 Planning Commission meeting and pursuant to Section 21.04, sub-section E6 Planning Commission Action, the Planning Commission recommends that the City Council (**APPROVE/ DENY**) the Final Site Plan for the a medical office building at the southwest corner of the intersection of Dan Hoey Road and Lexington Drive, subject to the following conditions:

1. _____
2. _____
3. _____

OR

Based on the information provided by at the September 8, 2015 Planning Commission meeting and pursuant to Section 21.04, sub-section E6 Planning Commission Action, the Planning Commission moves to **(POSTPONE)** action on the Final Site Plan for the a medical office building at the southwest corner of the intersection of Dan Hoey Road and Lexington Drive until **(DATE)**, to allow the applicant more time to address the following:

1. _____
2. _____
3. _____

Please let me know if you have any questions or comments.

Thank you.



VILLAGE OF DEXTER

8140 Main Street · Dexter, Michigan 48130-1092 · (734) 426-8303 · Fax (734) 426-5614

VILLAGE OF DEXTER

SITE PLAN REVIEW & SPECIAL USE APPLICATION

Application is being made for: Preliminary Site Plan Review Final Site Plan Review
 Combined Site Plan Special Use Permit

Property Address: Vacant - Dan Hoey Road

Tax ID Number: 08-08-08-200-024

Proposed Use: Office Building

Zoning District: PB Professional Business

Property Owner Name: BLMS, LLC Phone: 734-649-1948

Property Owner Address: 8031 Main Street, Suite 303, Dexter, MI 48130

Applicant Name: AR Brouwer Company Phone: 734-426-9980

Applicant Address: 7444 Dexter Ann Arbor Road, Suite F, Dexter, MI 48130

Representative (e.g. Engineer) Name: Steve Brouwer Phone: 734-426-9980

Representative Address: 7444 Dexter Ann Arbor Road, Suite F, Dexter, MI 48130

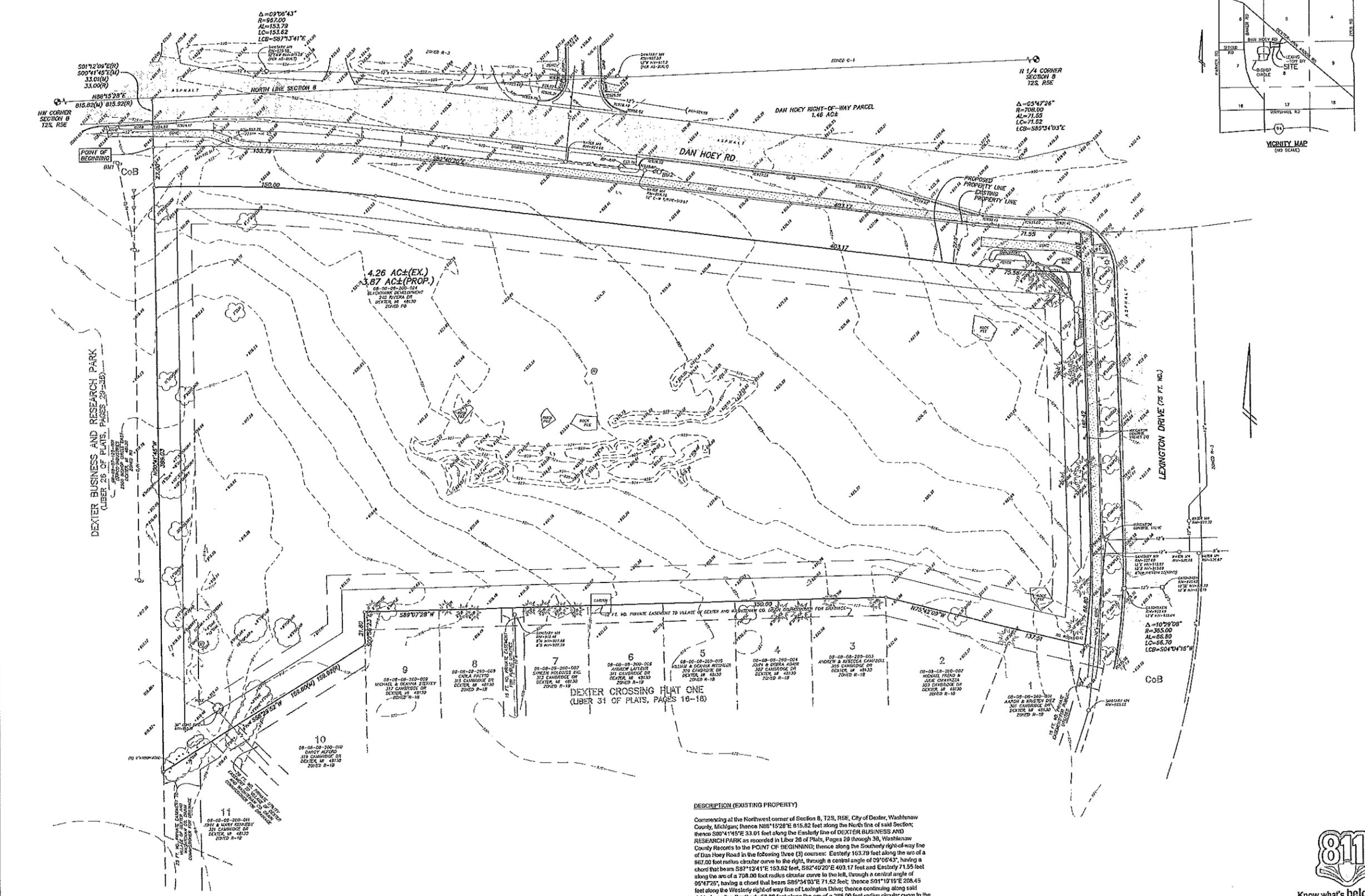
Regulations and Standards: Applicant must complete the following and applicable standards must be noted on the site plan.

	Plan Submitted	Requirement	
1. Front Yard Setback (ft)	<u>25'</u>	<u>25'</u>	<input checked="" type="checkbox"/> check here if corner lot
2. Side Yard Setback (ft)	<u>10'</u>	<u>10'</u>	
3. Rear Yard Setback (ft)	<u>25'</u>	<u>25'</u>	
4. Lot Coverage (%) (7a/6)	<u>4.3%</u>	<u>--</u>	
5. Height (ft)	<u>25'</u>	<u>35'</u>	
6. Total Site Area (ft)	<u>4.26 acres</u>	<u>2 acres</u>	
7a. Building Coverage (ft)	<u>4%</u>	<u>--</u>	
7b. Floor Area (ft)	<u>6811 sf</u>	<u>--</u>	

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION PROVIDED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THE SURVEYOR DOES BELIEVE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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THE OWNER SHALL NOT USE OR PERMIT ANY OTHER PERSON TO USE THE CORNERS, MEASUREMENTS, ELEVATIONS, BEARING, DISTANCE AND OTHER INFORMATION OF THIS SURVEY FOR ANY OTHER PROJECTS. FOR ADDITION TO THIS PROJECT, OR FOR CONVICTION OF THE PROJECT BY OTHER INSTRUMENTS OF SERVICE OR OTHER PROJECTS, THE SURVEYOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY ANY OTHER PERSON OR ENTITY. THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY ANY OTHER PERSON OR ENTITY.



WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION
 CoB - COHOVER LOAM, 0 TO 4 PERCENT SLOPES
 SOILS BOUNDARY
 SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTENAW COUNTY.

ZONING CLASSIFICATION
 C-1 GENERAL BUSINESS
 FB PROFESSIONAL BUSINESS
 R-1B ONE FAMILY RESIDENTIAL - SMALL LOT
 R-3 MULTIPLE FAMILY RESIDENTIAL
 RD RESEARCH & DEVELOPMENT

TC = TOP OF CURB
 TW = TOP OF WALL
 ○ = MANHOLE
 □ = CATCHBASIN
 (= END SECTION
 --- = GRAVEL
 --- = CONCRETE
 --- = ASPHALT

BENCHMARK BMT-100, SPINE IN ELY FACE OF UTILITY POLE, SOUTH OF DAN HOY RD, NEAR NORTHWEST CORNER OF PROPERTY, ELEV=924.42.
 BMT-STEAMER VALVE ON HYDRANT SOUTH OF DAN HOY RD BETWEEN CURB AND WALK, ELEV=927.38.
 DATUM=(NAVD 88)

DESCRIPTION (EXISTING PROPERTY)
 Commencing at the Northwest corner of Section 8, T2S, R5E, City of Dexter, Washtenaw County, Michigan; thence N88°13'28"E 815.82 feet along the North line of said Section; thence S89°14'15"E 33.01 feet along the Easterly line of DEXTER BUSINESS AND RESEARCH PARK as recorded in Liber 26 of Plats, Pages 29 through 36, Washtenaw County Records to the POINT OF BEGINNING; thence along the Southerly right-of-way line of Dan Hoy Road in the following three (3) courses: Easterly 163.79 feet along the arc of a 907.00 foot radius circular curve to the right, through a central angle of 0°00'43", having a chord that bears S87°13'41"E 153.82 feet, S82°40'29"E 403.17 feet and Easterly 71.55 feet along the arc of a 708.00 foot radius circular curve to the left, through a central angle of 0°47'26", having a chord that bears S85°34'03"E 71.62 feet; thence S01°10'15"E 208.45 feet along the Westerly right-of-way line of Lexington Drive; thence continuing along said right-of-way line Southerly 68.80 feet along the arc of a 385.00 foot radius circular curve to the right, through a central angle of 10°29'08", having a chord that bears S04°04'15"W 66.70 feet; thence along the Notherly line of DEXTER CROSSING PLAT ONE as recorded in Liber 31 of Plats, Pages 16 through 18, Washtenaw County Records in the following four (4) courses: N75°42'09"W 137.51 feet, S89°07'28"W 300.00 feet, S00°56'23"E 21.80 feet and S88°28'52"W 159.80 feet; thence N89°14'15"W 416.04 feet along the Easterly line of said DEXTER BUSINESS AND RESEARCH PARK to the Point of Beginning. Being a part of the Northwest 1/4 of Section 8, T2S, R5E, City of Dexter, Washtenaw County, Michigan and containing 4.26 acres of land, more or less. Being subject to easements and restrictions of record, if any.

REVISIONS 07-08-2015 PER CITY COMMENTS, 08-04-15 PER CITY COMMENTS.

SCALE
 0 15 30 60
 SCALE: 1"=30'

PREPARED BY *Thomas L. Sutherland*
 THOMAS L. SUTHERLAND P.S., MICH No. 24620



Know what's below.
 Call before you dig.



CIVIL ENGINEERS
 LANDSCAPE ARCHITECTS
 PLANNERS • SURVEYORS
WASHTENAW ENGINEERING
 3528 W. LIBERTY RD
 ANN ARBOR MI 48103
 TEL 734-761-8600
 FAX 734-761-8630
 WWW.WASHTENAWENGINEERING.COM

CLIENT
A.R. BROUWER COMPANY LLC
 7444 DEXTER RD
 DEXTER, MI 48130
 TEL 734-426-9980
 WWW.ARBROUWER.COM

BOUNDARY & TOPOGRAPHICAL SURVEY

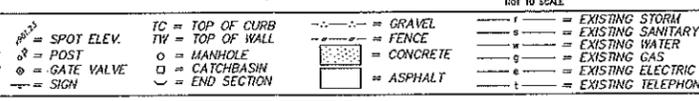
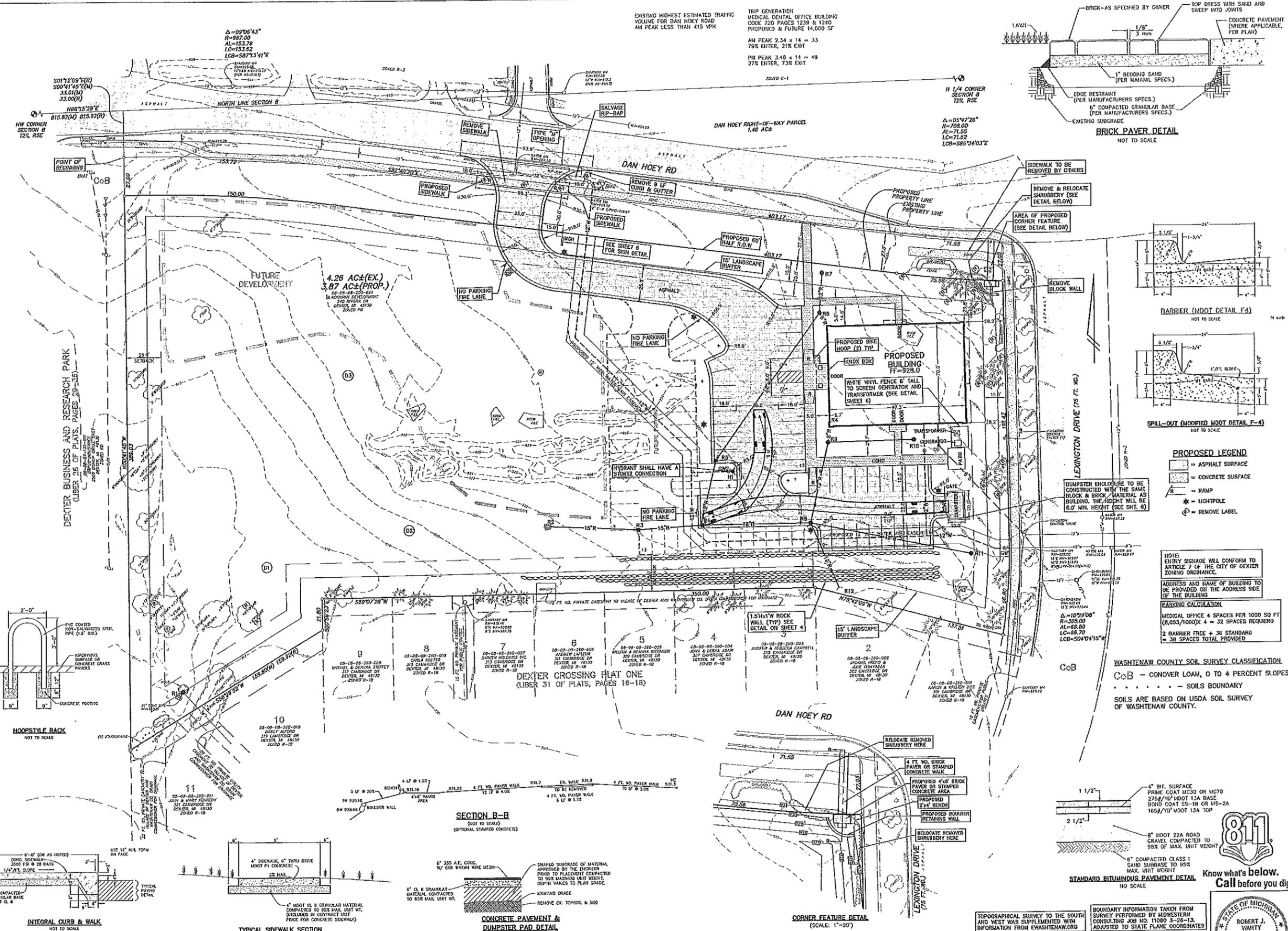
DAN HOEY MEDICAL OFFICE BUILDING

SECTION	8	TOWN	2	SOUTH	RANGE	5	EAST	
DATE	CITY OF DEXTER, WASHTENAW COUNTY - MICHIGAN							2
JOB NO.	31974							2
DWG NO.	974-1090							2
FIELD BOOK	NONE							2
FILE NO.	10170							2

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA. OTHER UTILITIES OR MANHOLES NOT SHOWN ON THIS PLAN MAY BE PRESENT. THE SURVEYOR DOES NOT GUARANTEE THAT THE UTILITIES SHOWN ARE ACCURATELY LOCATED OR THAT THEY ARE NOT PHYSICALLY LOCATED BY OTHER UTILITIES.

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THE OWNER SHALL VERIFY THE LOCATION OF ALL UTILITIES AND RECORDS. THE SURVEYOR IS NOT RESPONSIBLE FOR THE LOCATION OF UTILITIES NOT SHOWN ON THIS PLAN. THE SURVEYOR IS NOT RESPONSIBLE FOR THE LOCATION OF UTILITIES NOT SHOWN ON THIS PLAN.



LEGEND

○ = SPOT ELEV.	TC = TOP OF CURB	--- = GRAVEL	--- = EXISTING STORM
⊙ = UTILITY POLE	TW = TOP OF WALL	--- = FENCE	--- = EXISTING SANITARY
⊕ = GUY ANCHOR	○ = MANHOLE	--- = CONCRETE	--- = EXISTING WATER
⊕ = HYDRANT	○ = CATCHBASIN	--- = ASPHALT	--- = EXISTING GAS
	--- = END SECTION		--- = EXISTING ELECTRIC
	--- = SIGN		--- = EXISTING TELEPHONE

BENCHMARK BM11-R.R. SPIKE IN ELY FACE OF UTILITY POLE, SOUTH OF DAN HOEY RD. NEAR NORTHWEST CORNER OF PROPERTY. ELEV=924.47.
 BM2-STEAMER VALVE ON HYDRANT SOUTH OF DAN HOEY RD BETWEEN CURB AND WALK. ELEV=927.38.
 DATUM=(NAVD 88)

REVISIONS 07-08-2015 PER CITY COMMENTS. 08-04-15 PER CITY COMMENTS.

SCALE 0 15 30
 SCALE: 1"=30'

TOPOGRAPHICAL SURVEY TO THE SOUTH AND WEST WAS SUPPLEMENTED WITH INFORMATION FROM EWASHTENAW.ORG

BOUNDARY INFORMATION TAKEN FROM SURVEY PERFORMED BY MIDWESTERN CONSULTING JOB NO. 11080 3-28-13. ADJUSTED TO STATE PLANE COORDINATES

PREPARED BY: *Robert J. Wanty*
 ROBERT J. WANTY P.E., MICH No. 28666

WASHTENAW ENGINEERING
 CIVIL ENGINEERS
 LANDSCAPE ARCHITECTS
 3826 W. LIBERTY RD
 SUITE 400
 ANN ARBOR, MI 48103
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A.R. BROUWER COMPANY LLC
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FINAL SITE PLAN

DAN HOEY MEDICAL OFFICE BUILDING

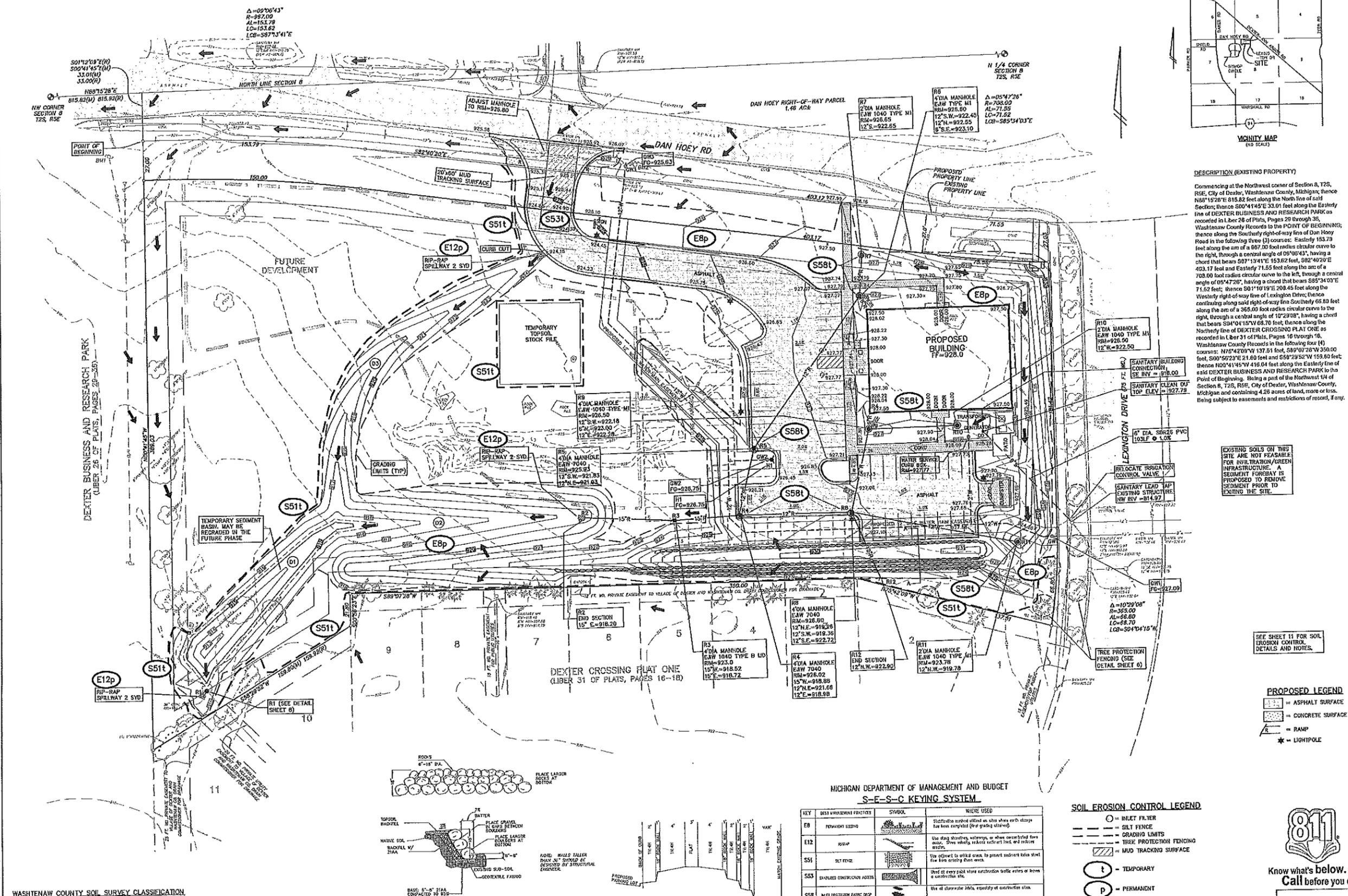
SECTION 5 EAST RANGE 5 EAST
 CITY OF DEXTER
 WASHTENAW COUNTY - MICHIGAN
 JOB NO. 31974
 DATE: 5-27-15
 DWG NO. 974-SITE
 FIELD BOOK NONE
 FILE NO. 10170

3
 SHEET

THE UNDERSIGNED UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERSIGNED UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN-SERVICE OR ABANDONED UTILITIES NOT SHOWN ON THIS PLAN ARE NOT TO BE CONSIDERED AS LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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DESCRIPTION (EXISTING PROPERTY)
 Commencing at the Northwest corner of Section 8, T2S, R5E, City of Dexter, Washtenaw County, Michigan; thence along the North line of said Section 8, 153.82 feet along the North line of said Section 8, thence S89°15'28"E 115.82 feet along the North line of said Section 8, thence S00°41'51"E 33.00 feet along the East line of DEXTER BUSINESS AND RESEARCH PARK as recorded in Liber 26 of Plats, Pages 29 through 30, Washtenaw County Records to the POINT OF BEGINNING; thence along the South line of said Section 8, 153.79 feet along the East line of a 607.00 foot radius circular curve to the right, through a central angle of 09°06'43", having a chord that bears S87°19'41"E 153.62 feet, S82°40'20"E 403.17 feet and East 71.55 feet along the arc of a 703.00 foot radius circular curve to the left, through a central angle of 05°47'26", having a chord that bears S85°34'03"E 71.52 feet; thence S01°10'19"E 208.45 feet along the West line of said Section 8, 153.79 feet along the East line of a 607.00 foot radius circular curve to the right, through a central angle of 10°28'08", having a chord that bears S04°04'15"W 68.70 feet, S89°07'28"W 350.00 feet, S00°56'23"E 21.60 feet and S89°29'52"W 159.80 feet; thence S00°41'51"W 418.04 feet along the East line of said DEXTER BUSINESS AND RESEARCH PARK to the Point of Beginning. Being a part of the Northwest 1/4 of Section 8, T2S, R5E, City of Dexter, Washtenaw County, Michigan and containing 4.26 acres of land, more or less. Being subject to easements and restrictions of record, if any.

EXISTING SOILS ON THIS SITE ARE NOT FEASIBLE FOR INFILTRATION/GREEN INFRASTRUCTURE. A SEDIMENT FORESLIP IS PROPOSED TO REMOVE SEDIMENT PRIOR TO EXITING THE SITE.

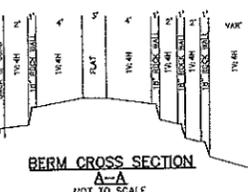
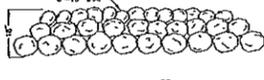
SEE SHEET 11 FOR SOIL EROSION CONTROL DETAILS AND NOTES.

PROPOSED LEGEND
 [Symbol] = ASPHALT SURFACE
 [Symbol] = CONCRETE SURFACE
 [Symbol] = RAMP
 [Symbol] = LIGHTPOLE

SOIL EROSION CONTROL LEGEND
 [Symbol] = INLET FILTER
 [Symbol] = SILT FENCE
 [Symbol] = GRADING LIMITS
 [Symbol] = TREE PROTECTION FENCING
 [Symbol] = MUD TRACKING SURFACE
 [Symbol] = TEMPORARY
 [Symbol] = PERMANENT

MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET
S-E-S-C KEYING SYSTEM

KEY	SOIL EROSION CONTROL SYMBOL	WHERE USED
EB	PERMANENT SLOPE	Stabilization required unless an area where earth slopes has been completed (for grading allowed)
E12	ROCK	Use along ditches, waterways, or where concentrated flow occur. Shows slope, reduces sediment load, and reduces erosion.
S51	SILT FENCE	Use adjacent to utility areas to prevent sediment from being carried into existing drain areas.
S53	STABILIZED CONSTRUCTION ACCESS	Used at every point where construction traffic enters or leaves a construction site.
S58	SOIL PROTECTION FABRIC	Use of strawdome mats, especially at construction sites.



WASHTEENAW COUNTY SOIL SURVEY CLASSIFICATION
 [Symbol] - CONOVER LOAM, 0 TO 4 PERCENT SLOPES
 SOILS BOUNDARY
 SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTEENAW COUNTY.

LEGEND
 [Symbol] = LIGHT POLE
 [Symbol] = UTILITY POLE
 [Symbol] = GUY ANCHOR
 [Symbol] = HYDRANT
 [Symbol] = SPOT ELEV.
 [Symbol] = POST
 [Symbol] = GATE VALVE
 [Symbol] = SIGN
 [Symbol] = TOP OF CURB
 [Symbol] = TOP OF WALL
 [Symbol] = MANHOLE
 [Symbol] = CATCHBASIN
 [Symbol] = END SECTION
 [Symbol] = GRAVEL
 [Symbol] = FENCE
 [Symbol] = CONCRETE
 [Symbol] = ASPHALT
 [Symbol] = EXISTING STORM
 [Symbol] = EXISTING SANITARY
 [Symbol] = EXISTING WATER
 [Symbol] = EXISTING GAS
 [Symbol] = EXISTING ELECTRIC
 [Symbol] = EXISTING TELEPHONE

BENCHMARK BM1-R.R. SPIKE IN ELY FACE OF UTILITY POLE, SOUTH OF DAN HOEY RD. NEAR WESTERN CORNER OF PROPERTY, ELEV=924.47.
 BM2-STEAMER VALVE ON HYDRANT SOUTH OF DAN HOEY RD BETWEEN CURB AND WALK. ELEV=927.38.
 DATUM=(NAVD 88).

REVISIONS 07-08-2015 PER CITY COMMENTS. 08-04-15 PER CITY COMMENTS.

SCALE 0 15 30 60
 SCALE: 1"=30'

TOPOGRAPHICAL SURVEY TO THE SOUTH AND WEST WAS SUPPLEMENTED WITH INFORMATION FROM EWASHTENAW.ORG
 BOUNDARY INFORMATION TAKEN FROM SURVEY PERFORMED BY MIDWESTERN CONSULTING JOB NO. 11080 3-26-11 ADJUSTED TO STATE PLANE COORDINATES
 PREPARED BY *Robert J. Wanty*
 ROBERT J. WANTY P.E., MICH No. 28666

811
 Know what's below.
 Call before you dig.
 STATE OF MICHIGAN
 ROBERT J. WANTY
 ENGINEER
 No. 28666
 LICENSED PROFESSIONAL ENGINEER

WASHTEENAW ENGINEERING
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A.R. BROUWER COMPANY LLC
 7444 DEXTER-ANN ARBOR RD
 SUITE F 48130
 DEXTER, MI 48130
 TEL: 734-426-9880
 WWW.ARBROUWER.COM

GRADING, UTILITY AND SOIL EROSION CONTROL PLAN

DAN HOEY MEDICAL OFFICE BUILDING

SECTION 8 TOWN 2 SOUTH RANGE 5 EAST
 CITY OF DEXTER
 WASHTEENAW COUNTY - MICHIGAN
 JOB NO. 874-999
 DATE 5-27-15
 DWG NO. 874-999
 FIELD BOOK NONE
 FILE NO. 10170

4 SHEET

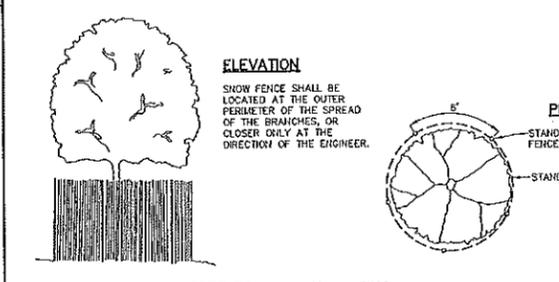
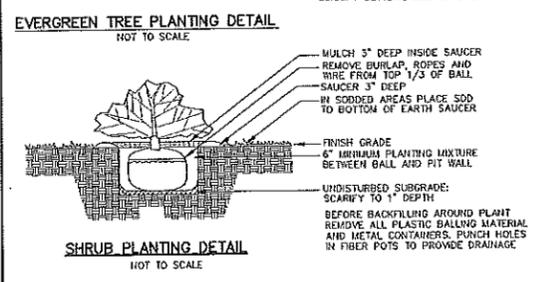
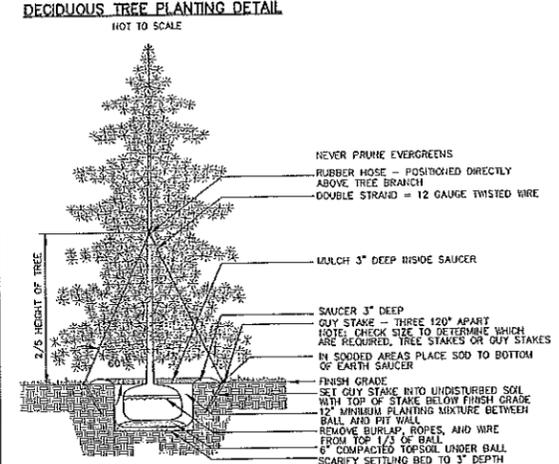
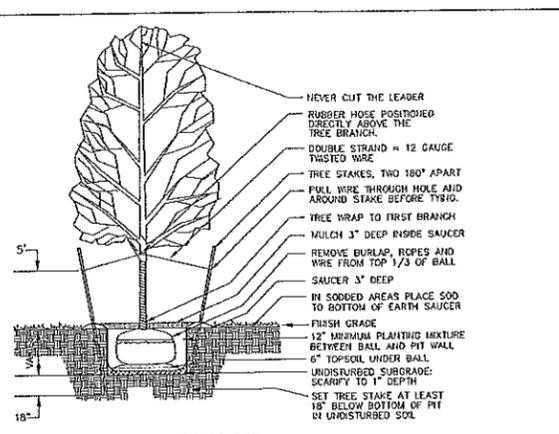
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NO REPRODUCTION OF THIS DRAWING IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

THE OWNER SHALL NOT USE OR AUTHORIZE ANY OTHER PERSON TO USE THE DRAWINGS, SPECIFICATIONS, ELECTRONIC DATA AND ANY OTHER INFORMATION CONTAINED HEREIN FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

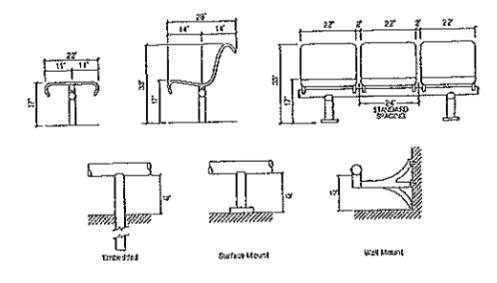
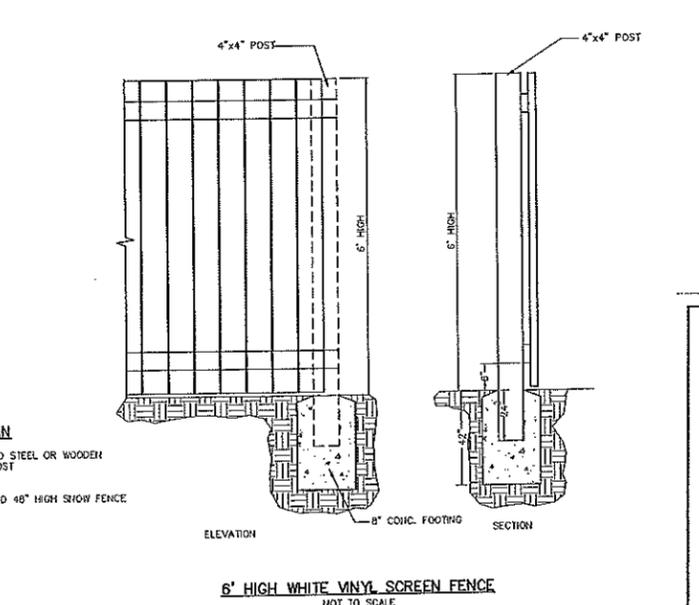
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GENERAL LANDSCAPE NOTES

- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO VILLAGE OF DEXTER STANDARDS AND SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND ALL SIZES AND MEASUREMENTS SHALL CONFORM TO THE USA STANDARD FOR NURSERY STOCK. ALL PLANT MATERIAL SHALL BE OF SELECTED SPECIMEN QUALITY AND HAVE A NORMAL HABIT OF GROWTH. ALL PLANT MATERIAL IS SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED STOCK OR CONTAINER STOCK. NO BARE ROOT STOCK IS PERMITTED. ALL PLANT BALLS SHALL BE FIRM, INTACT AND SECURELY WRAPPED AND BOUND.
- ALL PLANT BEDS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND OTHER EXTRANEUS OBJECTS AND POOR SOILS TO A MINIMUM DEPTH OF TWELVE INCHES (12") AND ALL BACKFILLED TO GRADE WITH PLANTING MIX (SEE BELOW).
- PLANTING MIXTURE SHALL CONFORM TO 2012 M.D.O.T. SPECIFICATION B15.02
- ALL PLANT BEDS AND INDIVIDUAL PLANTS SHALL BE MULCHED WITH A THREE INCH (3") LAYER OF SHREDDED BARK MULCH. MULCH SHALL CONFORM TO 2012 M.D.O.T. SPECIFICATION 917.14.
- ALL PLANTS AND PLANT BEDS SHALL BE THOROUGHLY WATERED AS DESCRIBED IN SECTION B15.03 (M.D.O.T. 2012 STANDARD SPECIFICATION.)
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE THE WORK IS ACCEPTED, IN WRITING, BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE, WITHOUT COST TO THE OWNER, WITHIN A SPECIFIED PERIOD TIME, ALL DEAD PLANTS, AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE ARCHITECT DURING AND AT THE END OF THE GUARANTEE PERIOD. REPLACEMENT STOCK SHALL CONFORM TO THE ORIGINAL REQUIREMENTS.
- EDGING, WHERE NOTED ON THE PLANS, SHALL BE RYERSON STEEL EDGING, 3/16" x 4". INSTALL PER MANUFACTURER'S INSTRUCTIONS. ALL EDGING SHALL BE INSTALLED IN STRAIGHT, STRAIGHT, TRUE LINES WITHOUT IRREGULARITIES.
- ALL AREAS OF THE SITE THAT BECOME DISTURBED DURING CONSTRUCTION AND ARE NOT TO BE PAVED, STONED, LANDSCAPED, OR SODDED SHALL BE SEEDED AND MULCHED.
 - SEED MIXTURE SHALL BE THM MIX PLANTED ACCORDING TO 2012 M.D.O.T. SPECIFICATION B16 AND B16-1A INCLUDING PLACEMENT OF 4 INCH TOPSOIL BED.
 - SOD, WHERE SPECIFIED, SHALL BE CLASS B PLANTED PER 2012 M.D.O.T. SPECIFICATION B16.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ANY PART OF THE AREA THAT FAILS TO SHOW A UNIFORM GERMINATION SHALL BE RESEEDING AND SUCH RESEEDING SHALL CONTINUE UNTIL A DENSE LAWN IS ESTABLISHED. DAMAGE TO SEEDED AREAS RESULTING FROM EROSION SHALL BE REPAIRED BY THE CONTRACTOR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE THE UTILITIES, BOTH ABOVE AND UNDERGROUND PRIOR TO LANDSCAPING. ANY CONFLICTS BETWEEN UTILITIES AND PLANT MATERIAL SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT.



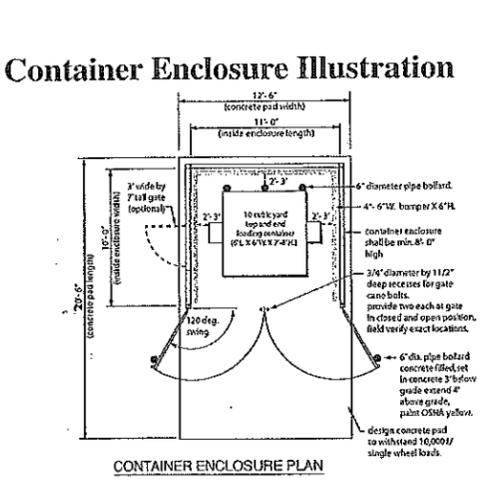
BENCH OBTAINED FROM: LANDSCAPE FORMS IN KALAMAZOO, MI; MODEL: PLEXUS II

BLACK POWDERCOAT IS PREFERABLE.

FOR SURFACE MOUNTED BENCHES, LOCATE ON AND ANCHOR TO PAVEMENT. BENCHES SHOULD BE SET WITH A MINIMUM SETBACK OF 12-16" FROM THE EDGE OF LAWN TO REDUCE DAMAGE FROM MAINTENANCE EQUIPMENT.

OTHER MANUFACTURERS: VICTOR STANLEY III DUNKIRK, MD; SITESCAPES IN LINCOLN, NE; AND FORMS + SURFACES IN PITTSBURGH, PA.

Container Enclosure Illustration



This Container Enclosure Illustration is for informational purposes only and may not conform to your local zoning or permitting requirements. Before designing a site enclosure, please check with your local county or municipal authorities for all ordinances and regulations governing such structures.

T.B.D.

19' 4" x 19' 4" (42 10' FEET GROUND SIGN @ 9'-0" OVERALL HEIGHT)

5'-6" DIA

1'-0" DIA

TOBINSON DESIGN

JOB NAME: _____
LOCATION: _____
ACCOUNT REF: _____
DESK: _____
REVISION: _____
NOTES: _____

FILE NAME: _____
DESK: 05-0919
SCALE: 1/2" = 1'

CUSTOMER APPROVAL: _____ DATE: _____

LANDSCAPING REQUIREMENTS

STREET TREES	Requirement	Basic	Required	Provided
Dan Hoey Road	1 canopy tree/40 LF frontage	215 LF	5 trees	5 new canopy trees
Lexington Drive	1 canopy tree/40 LF frontage	273 LF	7 trees	8 existing canopy trees

PARKING LOT SCREENING	Requirement	Basic	Required	Provided
Dan Hoey Rd	1 buffer strip 10' wide	180 LF	10' wide strip (min)	26-510 strip
	10 shrubs per 30 LF frontage	180 LF	60 shrubs	60 shrubs
Lexington Drive	1 buffer strip 10' wide	60 LF	10' wide strip (min)	43-54' strip
	10 shrubs per 30 LF frontage	60 LF	20 shrubs	30 shrubs
* combined with A/C transformer screening				

PARKING	Requirement	Basic	Required	Provided
Required Area	3% of parking lot area	19,400 SF	552 sf area	3,639 sf area
Landscape area	100 sf landscaped area per 10 spaces	30 spaces	400 sf area	1,581 sf area
Plant material	1 canopy tree per 10 spaces	30 spaces	4 trees	6 new canopy trees

BUFFER - Zone C - office to residential - along south property line	Requirement	Basic	Required	Provided
Width	15' wide strip	676 LF	15' strip	17,753.2' strip
Barrier	3" beam	676 LF	15' strip	3' beam
Plant materials	1 ornamental tree per 40 LF OR 1 evergreen tree per 40 LF AND 5 upright shrubs per 30 LF	676 LF	23 trees	3 new ornamentals 14 new evergreens 115 shrubs

ON SITE LANDSCAPING	Requirement	Basic	Required	Provided
Landscape Area	3% of total lot area	76,110 LF	3,808 SF area	4,735 sf landscaped area
Trees	1 canopy or 1 evergreen or 1 ornamental tree per 400 sf	3,808 LF	10 trees	10 new ornamentals
Shrubs	1 shrub per 250 sf required area	3,808 SF	16 shrubs	18 new shrubs

* See credits calculations on this sheet

WASHTENAW ENGINEERING

CIVIL ENGINEERS
PLANNERS & SURVEYORS
LANDSCAPE ARCHITECTS

3250 W. LIBERTY RD
ANN ARBOR, MI 48103
TEL: 734-761-8800
WWW.WASHTENAWENGINEERING.COM

A.R. BROUWER COMPANY LLC
7444 DEXTER-ANN ARBOR RD
DEXTER, MI 48130
TEL: 734-426-9680
www.arbrouwer.com

LANDSCAPE DETAILS

DAN HOEY MEDICAL OFFICE BUILDING

SECTION 8 TOWN 2 SOUTH RANGE 5 EAST
CITY OF DEXTER
WASHTENAW COUNTY - MICHIGAN
JOB NO. 31974
DATE 5-21-15
DWS NO. 97a-land
FIELD BOOK NONE
FILE NO. 10170

PROJECT

811 Know what's below. Call before you dig.

STATE OF MICHIGAN
RICHARD MEADER
LANDSCAPE ARCHITECT
No. 1415

TOPOGRAPHICAL SURVEY TO THE SOUTH AND WEST WAS SUPPLEMENTED WITH INFORMATION FROM EWASHTENAW.ORG

BOUNDARY INFORMATION TAKEN FROM SURVEY PERFORMED BY MIDWESTERN CONSULTING JOB NO. 11080 3-28-13, ADJUSTED TO STATE PLANE COORDINATES

REVISIONS 07-08-2015 PER CITY COMMENTS; 08-04-15 PER CITY COMMENTS.

SCALE 1" = 30'

PREPARED BY Richard K. Meader
RICHARD K. MEADER, L.L.A., MICH No. 1415

LEGEND

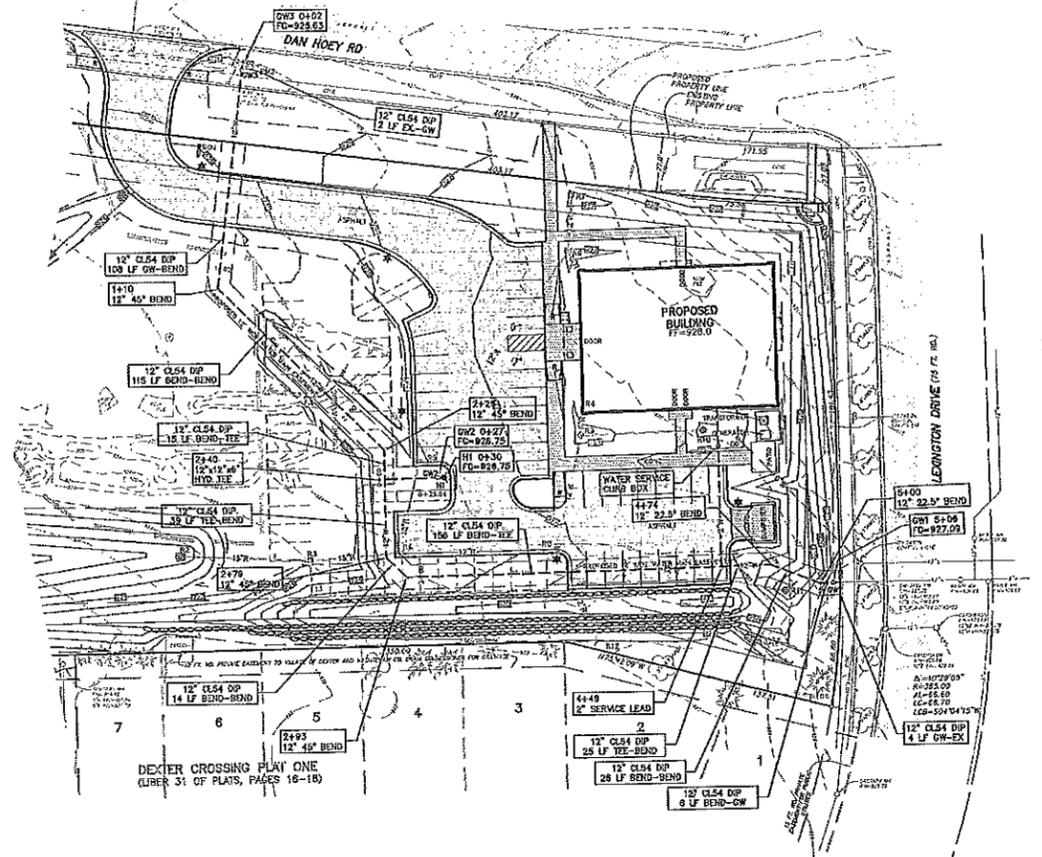
- = LIGHT POLE
- = UTILITY POLE
- = GUY ANCHOR
- ⊕ = HYDRANT
- = SPOT ELEV.
- = POST
- = GATE VALVE
- = SIGN
- TC = TOP OF CURB
- TW = TOP OF WALL
- = GRAVEL
- = FENCE
- = CONCRETE
- = ASPHALT
- = EXISTING STORM
- = EXISTING SANITARY
- = EXISTING WATER
- = EXISTING GAS
- = EXISTING ELECTRIC
- = EXISTING TELEPHONE

BENCHMARK BUT-R.R. SPIKE IN ELY FACE OF UTILITY POLE, SOUTH OF DAN HOEY RD, NEAR NORTHWEST CORNER OF PROPERTY, ELEV=924.47.
BVI2-STEAMER VALVE ON HYDRANT SOUTH OF DAN HOEY RD BETWEEN CURB AND WALK, ELEV=927.38.
DATUM=NAVD 88.

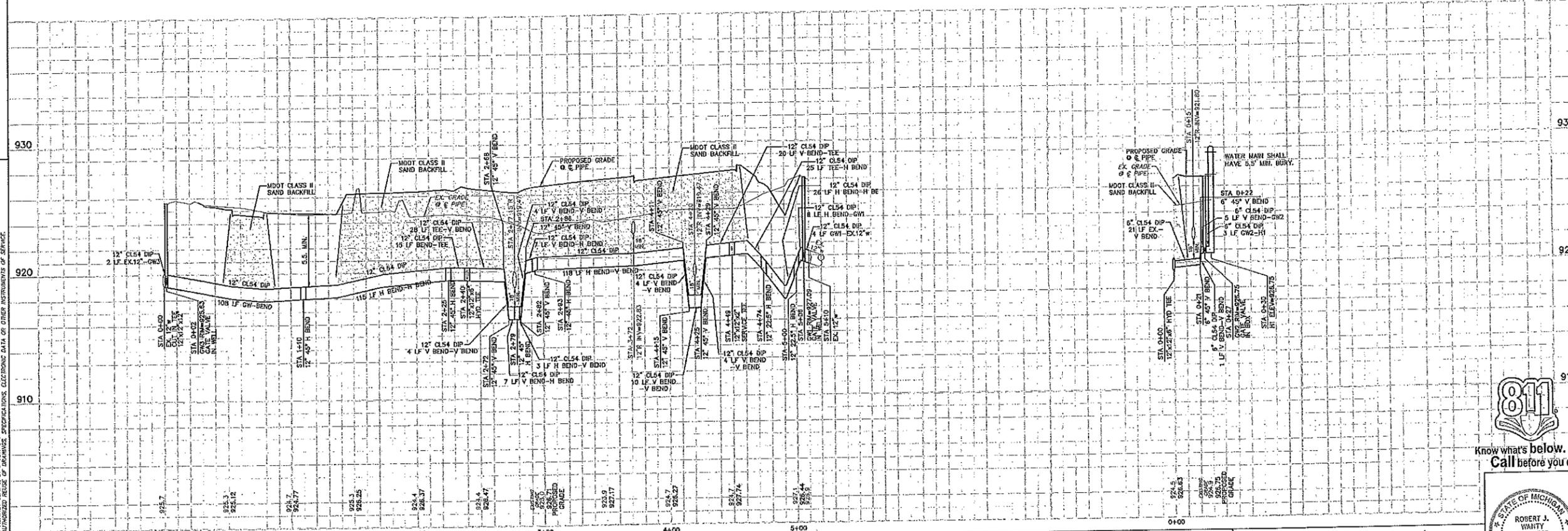
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR HAS MADE THE SURVEYOR'S BEST EFFORTS TO LOCATE THE UTILITIES AND TO SHOW THEM IN THE PLAN. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THE SURVEYOR HAS MADE A GOOD FAITH EFFORT TO LOCATE THE UTILITIES, THE SURVEYOR HAS NOT NECESSARILY LOCATED THE UNDERGROUND UTILITIES.

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WATER MAIN CONSTRUCTION SHALL COMPLY WITH CITY OF DEXTER STANDARDS AND SPECIFICATIONS.



LEGEND

⊕ = LIGHT POLE	⊙ = SPOT ELEV.	TC = TOP OF CURB	--- = GRAVEL	--- = EXISTING STORM
⊙ = UTILITY POLE	⊙ = POST	TW = TOP OF WALL	--- = FENCE	--- = EXISTING SANITARY
⊙ = GUY ANCHOR	⊙ = GATE VALVE	⊙ = MANHOLE	--- = CONCRETE	--- = EXISTING WATER
⊙ = HYDRANT	⊙ = SIGN	⊙ = CATCHBASIN	--- = ASPHALT	--- = EXISTING GAS
		⊙ = END SECTION		--- = EXISTING ELECTRIC
				--- = EXISTING TELEPHONE

BENCHMARK

BMI=R.R. SPIKE IN ELY FACE OF UTILITY POLE, SOUTH OF DAN HOYE RD.
 NEAR NORTHWEST CORNER OF PROPERTY, ELEV=924.42.
 BM2=STEAMER VALVE ON HYDRANT SOUTH OF DAN HOYE RD BETWEEN CURB AND WALK.
 ELEV=927.38.
 DATUM=(HAYD 88).

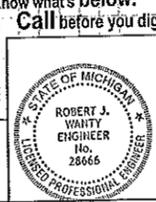
REVISIONS 07-08-2015 PER CITY COMMENTS. 08-04-15 PER CITY COMMENTS.

NO.	DATE	DESCRIPTION

SCALE

0 20 40
 HORIZONTAL: 1 INCH = 40 FEET
 VERTICAL: 1 INCH = 4 FEET

PREPARED BY *Robert J. Wanty*
 ROBERT J. WANTY P.E., MICH No. 28666



CLIENT
 A.R. BROUWER COMPANY LLC
 7444 DEXTER-ANN ARBOR RD
 SUITE F
 DEXTER, MI 48130
 TEL: 734-960-9090
 WWW.ARBROUWER.COM

PROJECT
 DAN HOYE MEDICAL OFFICE BUILDING

SHEET
 SECTION 8 TOWN 2 SOUTH RANGE 5 EAST
 CITY OF DEXTER
 WASHINGTON COUNTY, MICHIGAN
 DATE 5-27-15
 DWG NO. 974-WAT-PROF
 FIELD BOOK NONE
 FILE NO. 10170

9
 SHEET

WASHTENAW ENGINEERING
 CIVIL ENGINEERS
 PLANNERS • ARCHITECTS
 LANDSCAPE ARCHITECTS
 3326 W. LIBERTY RD
 SUITE 400
 ANN ARBOR, MI 48103
 FAX: 734-761-8330
 WWW.WASHTENAWENGINEERING.COM

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND/OR FROM RECORD DRAWINGS. THE SURVEYOR HAS MADE A REASONABLE ATTEMPT TO LOCATE ALL UTILITIES AND TO VERIFY THEIR DEPTHS AND LOCATIONS. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. APPROXIMATE LOCATIONS OF UTILITIES ARE INDICATED BY DASHED LINES. THE SURVEYOR HAS NOT PERFORMED A TEST OF ANY UTILITIES SHOWN.

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THE OWNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DATA AND INFORMATION PROVIDED TO THE ENGINEER. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE DATA AND INFORMATION PROVIDED TO THE ENGINEER. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE DATA AND INFORMATION PROVIDED TO THE ENGINEER.

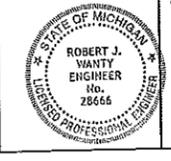
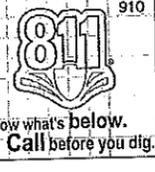
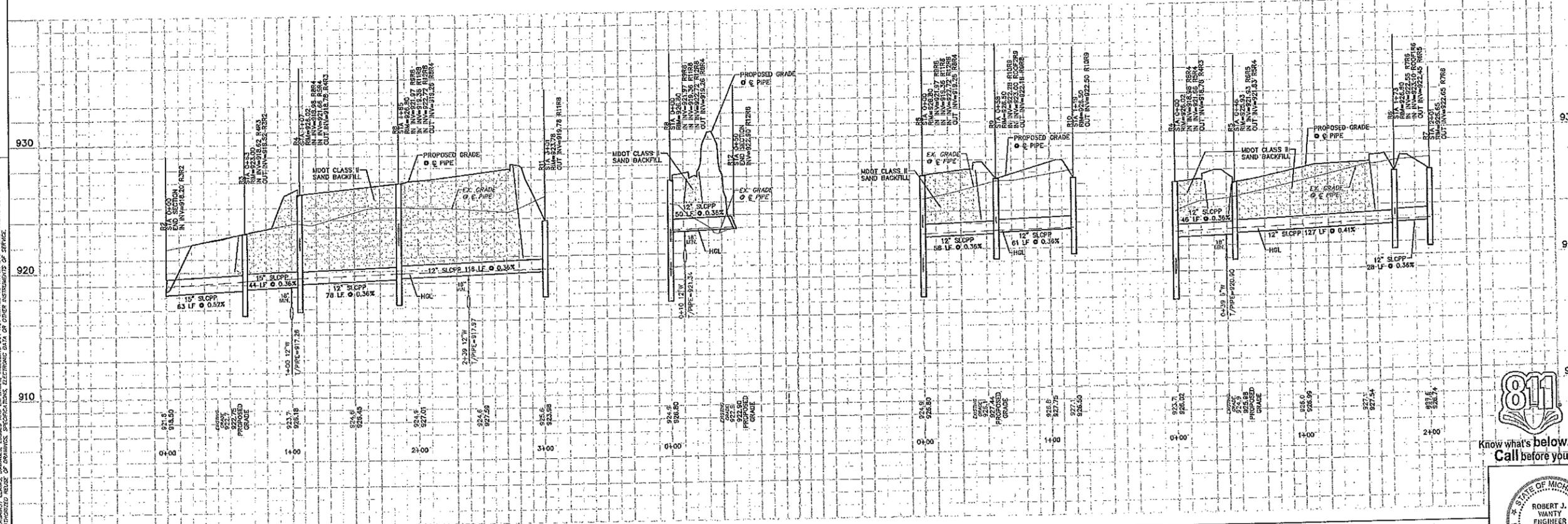
CITY OF DEXTER SANITARY SEWER NOTES

1. ALL SEWER SYSTEM CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND GENERAL SPECIFICATIONS OF THE CITY OF DEXTER AND THE AGENCY OR AGENCIES HAVING JURISDICTION OVER THE CONSTRUCTION AREA.
2. ALL MANHOLE RIMS SHALL BE SET TO GRADE AS APPROVED BY THE CITY ENGINEER.
3. RISERS ON SANITARY SEWERS SHALL BE INSTALLED IN LOCATIONS WHERE SEWER IS OVER 10 FEET DEEP. RISERS SHALL BE INSTALLED TO A DEPTH OF 10 FEET BELOW THE FINISHED GROUND.
4. ONE SANITARY SEWER SERVICE LEAD SHALL BE PROVIDED FOR EACH LOT, AT THE CENTER OF THE LOT, ALONG THE ROUTE OF THE SANITARY SEWER UNLESS OTHERWISE SPECIFIED. THE SANITARY SEWER SERVICE LEAD SHALL EXTEND A MINIMUM OF 2 FEET BEYOND THE UTILITY EASEMENT OR RIGHT-OF-WAY (PROPOSED OR EXISTING).
5. ALL MANHOLES SHALL USE ECCENTRIC CONES PLACED TOWARD THE PROPERTY LINE UNLESS OTHERWISE NOTED.
6. INFILTRATION FOR ANY SECTION OF SEWERS SHALL NOT EXCEED 200 GALLONS PER INCH DIAMETER PER MILE OF SEWER PER 24 HOURS.
7. NO FOOTING OR ROOF DRAIN SHALL BE CONNECTED TO THE SANITARY SEWER.
8. DIFFERENTIAL OF EXCAVATION AROUND EXISTING MANHOLES SHALL NOT EXCEED 6 FEET.
9. NO CONNECTION RECEIVING STORM WATER, SURFACE WATER OR GROUND WATER SHALL BE MADE TO SANITARY SEWERS.
10. ALL SANITARY SEWERS SHALL BE SUBJECT TO TELEVISION INSPECTION AND AIR INFILTRATION OR EXFILTRATION TESTS, OR A COMBINATION OF THE SAME, PRIOR TO ACCEPTANCE. ALL SEWERS OVER 24 INCHES IN DIAMETER SHALL BE SUBJECTED TO INFILTRATION TESTS. ALL SEWERS 24 INCHES IN DIAMETER AND SMALLER, WHERE THE GROUND WATER LEVEL IS ABOVE THE TOP OF THE PIPE IS OVER 2 FEET SHALL BE SUBJECTED TO INFILTRATION TESTS. ALL SEWERS 24 INCHES IN DIAMETER OR SMALLER, WHERE THE GROUND WATER LEVEL IS ABOVE THE TOP OF THE PIPE IS 2 FEET OR LESS, SHALL BE SUBJECTED TO AIR TESTS OR EXFILTRATION TESTS.
11. ALL SEWERS SHALL BE TELEVIEWED, WITH TEST RESULTS APPROVED BY THE CITY ENGINEER OR THE CITY OF DEXTER UTILITIES DEPARTMENT PRIOR TO PLACING THE SEWER IN SERVICE. COPIES OF THE TAPE MUST BE SUBMITTED TO THE CITY OF DEXTER AND WILL NOT BE RETURNED.
12. MANDREL TESTING SHALL TAKE PLACE TO ENSURE THE FLEXIBLE PIPE HAS BEEN PROPERLY BEDDED AND BACKFILLED. THE DEFLECTION TEST MUST BE CONDUCTED NO LESS THAN 30 DAYS AFTER INSTALLATION OF FINAL BACKFILL. THE MAXIMUM ALLOWED DEFLECTION IS 5%. A NINE-ARM (POINT) MANDREL SHALL BE USED.
13. ALL SANITARY SEWER STUBS SHALL HAVE A WATER AND AIRTIGHT BULKHEAD WITH A MARKER DESIGNATING THE LOCATION OF THE STUB.

CITY OF DEXTER STANDARD NOTES

1. NOTIFY THE CITY OF DEXTER AND THE CITY ENGINEER A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL CONSTRUCTION MUST CONFORM TO THE CURRENT ENGINEERING STANDARDS AND SPECIFICATIONS ADOPTED BY THE CITY OF DEXTER.
3. NO PAVING OR EXCAVATION FOR PAVING SHALL BE ALLOWED UNTIL THE SANITARY SEWERS, WATER MAIN, STORM SEWERS AND/OR COUNTY DRAIN CLEAN OUT CONSTRUCTION HAS BEEN APPROVED BY THE CITY.
4. CALL MISS DIG (800-482-7171) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
5. ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON-SITE PRIOR TO THE START OF CONSTRUCTION.
6. ALL EXCAVATION UNDER THE INFLUENCE OF PAYEMENT, INCLUDING SIDEWALKS AND DRIVEWAYS, EXISTING OR PROPOSED, SHALL BE BACKFILLED AND COMPACTED WITH CLASS II SAND TO 95% OF MAXIMUM UNIT WEIGHT.
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
8. THE CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL DISTURBED AREAS TO THE CONDITIONS THAT EXISTED PRIOR TO THE START OF CONSTRUCTION.
9. WORKING HOURS (INCLUDING RUNNING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY, 7:00 AM TO 7:00 PM; OR SUN/UP TO SUNDOWN; WHICHEVER IS LESS.

STORM SEWER CONSTRUCTION SHALL COMPLY WITH CITY OF DEXTER STANDARDS AND SPECIFICATIONS.



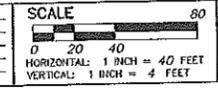
PREPARED BY: *Robert J. Wanty*
ROBERT J. WANTY P.E., MICH. NO. 28666

LEGEND

☆ = LIGHT POLE	○ = SPOT ELEV.	TC = TOP OF CURB	— = GRAVEL	— = EXISTING STORM
⊕ = UTILITY POLE	⊙ = POST	TW = TOP OF WALL	— = FENCE	— = EXISTING SANITARY
⊙ = GUY ANCHOR	⊙ = MANHOLE	— = CATCHBASIN	— = CONCRETE	— = EXISTING WATER
⊕ = HYDRANT	— = END SECTION	— = ASPHALT	— = ASPHALT	— = EXISTING GAS
				— = EXISTING ELECTRIC
				— = EXISTING TELEPHONE

BENCHMARK BM1=R.R. SPK IN CLY FACE OF UTILITY POLE, SOUTH OF DAN HOEY RD. NEAR NORTHWEST CORNER OF PROPERTY. ELEV=924.47.
BM2=STEAKER WALK ON HYDRANT SOUTH OF DAN HOEY RD BETWEEN CURB AND WALK. ELEV=927.38.
DATUM=(NA10 BS).

REVISIONS 07-08-2015 PER CITY COMMENTS. 08-01-15 PER CITY COMMENTS.



CLIENT
A.R. BROUWER COMPANY LLC
7444 DEXTER-ANN ARBOR RD
DEXTER, MI 48130
TEL: 313-968-0800
WWW.ARBROUWER.COM

PROJECT
DAN HOEY MEDICAL OFFICE BUILDING

SECTION 8 **TOWN** 2 **SOUTH** **RANGE** 5 **EAST**

DATE 5-27-15 **JOB NO.** 31674 **DWG. NO.** 874-SW-PROF **FIELD BOOK** 1021E **FILE NO.** 10170

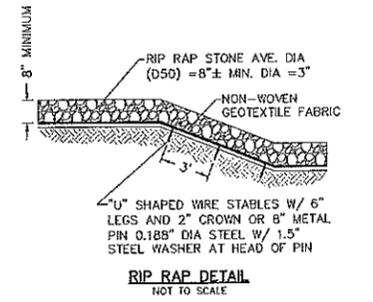
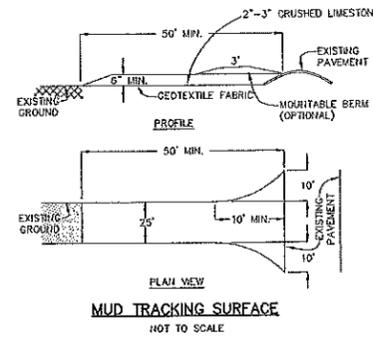
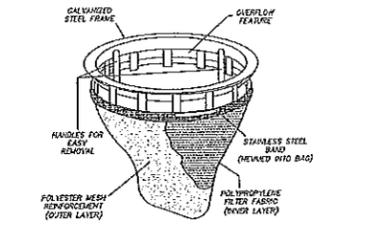
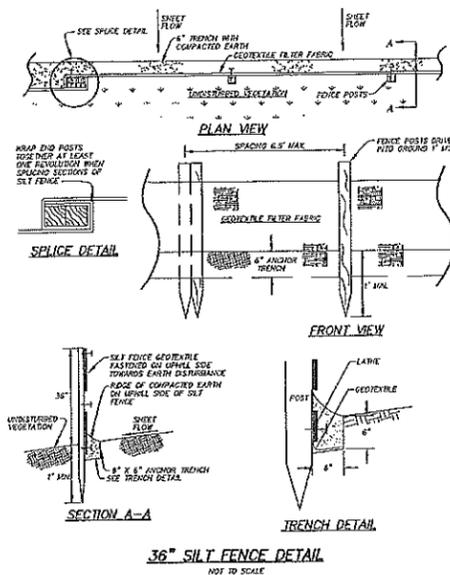
SHEET 10

WASHTENAW ENGINEERING
CIVIL ENGINEERS • SURVEYORS
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LANDSCAPE ARCHITECTS
3526 W. LIBERTY RD
SUITE 400
ANN ARBOR, MI 48106
TEL: 734-781-2030
WWW.WASHTENAWENGINEERING.COM

THE UNDERSIGNED STATES THAT THE INFORMATION AND DRAWINGS CONTAINED HEREIN WERE PREPARED BY HIMSELF OR UNDER HIS CLOSE PERSONAL SUPERVISION AND TO THE BEST OF HIS KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS AND ORDINANCES. THE UNDERSIGNED ALSO STATES THAT HE IS A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MICHIGAN AND IS NOT PROVIDING ANY SERVICES OUTSIDE HIS LICENSED PROFESSIONAL ENGINEERING JURISDICTION.

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- SOIL EROSION CONTROL NOTES:**
- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF CITY OF DEXTER AND WASHTENAW COUNTY.
 - DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES AND WHEN NECESSARY, REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
 - EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS, WHICH INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
 - EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION; SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THIS SITE.
 - THE OWNER SHALL OBTAIN OR CAUSE HIS CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS, PAY ALL FEES AND POST ALL BONDS TO EACH AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER EROSION CONTROL MEASURES ON THIS PROJECT.
 - THE CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THIS PLAN. HE SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER CHANGES HAVE BEEN ACCOMPLISHED.
 - THE CONTRACTOR IS TO PROTECT AS MUCH EXISTING VEGETATION AS POSSIBLE.
 - ALL MUD, DIRT AND DEBRIS TRACKED ONTO EXISTING ROADS FROM THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR AND/OR BUILDER. ALL MUD, DIRT AND DEBRIS TRACKED OR SPILLED ONTO PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR AND/OR BUILDER.
 - ANY SOIL EROSION CONTROL MEASURES DAMAGED BY THEIR CONTRACTOR'S OPERATION SHALL BE REPLACED THE SAME DAY.
 - ESTIMATED COST OF THE PERMANENT AND TEMPORARY EROSION CONTROL DEVICES IS \$ 7000.00
 - ESTIMATED COST TO PROTECT SITE FROM EROSION SHOULD CONSTRUCTION DISCONTINUE IS \$ 12,000.00.

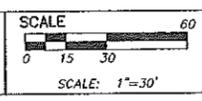
- City of Dexter Standard Notes
- Notify the City of Dexter and the City Engineer a minimum of 72 hours prior to the start of construction.
 - All construction must conform to the current engineering standards and specifications adopted by the City of Dexter.
 - No paving or excavation for paving shall be allowed until the sanitary sewers, water main storm sewers and/or country drain clean out construction has been approved by the City.
 - Call MISS DIG (800-482-7171) a minimum of 72 hours prior to the start of construction.
 - All soil erosion and silt must be controlled and contained onsite prior to the start of construction.
 - All excavation under the influence of pavement, including sidewalks and driveways, existing or proposed, shall be backfilled and compacted with Class II sand to 95% of maximum unit weight.
 - The contractor is responsible for all damage to existing utilities.
 - The contractor is responsible for restoring all disturbed areas to the conditions that existed prior to the start of construction.
 - Working hours (including running of any machinery) shall be restricted to Monday through Saturday, 7:00 am to 7:00 pm; or sunup to sundown; whichever is less.

- CONSTRUCTION SEQUENCE**
- 9/15 TEMPORARY CONTROL MEASURES INSTALLED.
 - 9/15 GRAVEL CONSTRUCTION ACCESS INSTALLED.
 - 9/15 LAND CLEARING.
 - 9/15 SEDIMENT BASIN INSTALLED AND STABILIZATION.
 - 10/15 UTILITY INSTALLATION.
 - 10/15 PLACE INLET FILTERS FOR CATCH BASINS AND INLETS.
 - 10/15 GRADING.
 - 10/15 BUILDING CONSTRUCTION.
 - 5/16 FINAL GRADE/SEED.
 - 6/16 CATCHBASINS/SEDIMENT BASINS CLEANED.
 - 5/16 PERMANENT CONTROL MEASURES INSTALLED AND FUNCTIONING.
 - 5/16 REMOVE TEMPORARY CONTROL MEASURES.

SEE STORMWATER MANAGEMENT PLAN (SHEET 8) FOR MAINTENANCE SCHEDULES AND BUDGETS.



PREPARED BY: *Robert J. Wanty*
ROBERT J. WANTY P.E., MICH No. 28666



REVISIONS 07-09-2015 PER CITY COMMENTS. 08-04-15 PER CITY COMMENTS.

BENCHMARK BMI=R.R. SPIKE ON ELY FACE OF UTILITY POLE, SOUTH OF DAN HOEY RD. NEAR NORTHWEST CORNER OF PROPERTY. ELEV=324.47.
BND=STEAMER VALVE ON HYDRANT SOUTH OF DAN HOEY RD BETWEEN CURB AND WALK. ELEV=927.39.
DATUM=(NAVD 88)

LEGEND	SPOT ELEV.	TOP OF CURB	GRAVEL	EXISTING STORM
☆	POST	TOP OF WALL	FENCE	EXISTING SANITARY
○	MANHOLE	CONCRETE	ASPHALT	EXISTING WATER
□	GATE VALVE	ASPHALT	ASPHALT	EXISTING GAS
○	HYDRANT	ASPHALT	ASPHALT	EXISTING ELECTRIC
○	HYDRANT	ASPHALT	ASPHALT	EXISTING TELEPHONE

ENGINEERS ARCHITECTS LANDSCAPE ARCHITECTS
3528 W. LIBERTY RD SUITE 400 ANN ARBOR, MI 48103 TEL 734-761-8500 FAX 734-761-8500 WASHTENAWENGINEERING.COM

WASHTENAW ENGINEERING

CLIENT: A.R. BROUWER COMPANY LLC 7444 DEXTER-ANN ARBOR RD DEXTER, MI 48130 TEL 734-666-4880 www.arbrouwer.com

SHEET: SOIL EROSION CONTROL DETAILS

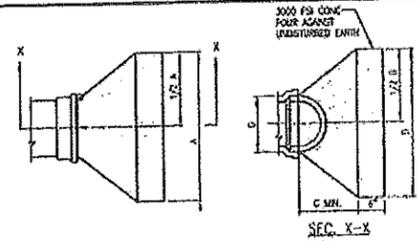
PROJECT: DAN HOEY MEDICAL OFFICE BUILDING

SECTION: 5 TOWN: 2 SOUTH RANGE: 5 EAST CITY OF DEXTER WASHTENAW COUNTY + MICHIGAN JOB NO. 31974 DWG NO. 974-sep-06t FIELD BOOK: NONE FILE NO. 10170

DATE: 5-21-15

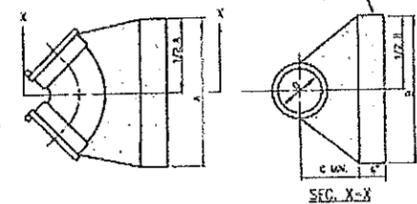
11 SHEET

DA. OF WATER MAIN	THRUST BLOCK		
D	A	B	C
8"	18"	18"	9"
10"	20"	20"	12"
12"	22"	22"	15"
14"	24"	24"	18"



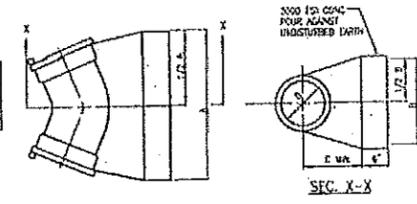
THRUST BLOCK AT PLUG

DA. OF WATER MAIN	THRUST BLOCK		
D	A	B	C
8"	18"	18"	9"
10"	20"	20"	12"
12"	22"	22"	15"
14"	24"	24"	18"



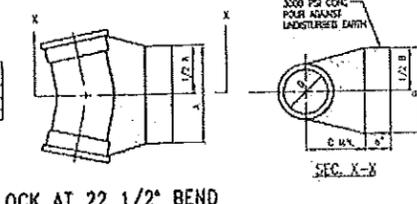
THRUST BLOCK AT 90° BEND

DA. OF WATER MAIN	THRUST BLOCK		
D	A	B	C
8"	18"	18"	9"
10"	20"	20"	12"
12"	22"	22"	15"
14"	24"	24"	18"



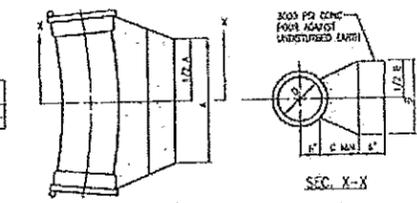
THRUST BLOCK AT 45° BEND

DA. OF WATER MAIN	THRUST BLOCK		
D	A	B	C
8"	18"	18"	9"
10"	20"	20"	12"
12"	22"	22"	15"
14"	24"	24"	18"



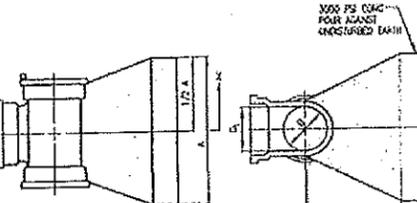
THRUST BLOCK AT 22 1/2° BEND

DA. OF WATER MAIN	THRUST BLOCK		
D	A	B	C
8"	18"	18"	9"
10"	20"	20"	12"
12"	22"	22"	15"
14"	24"	24"	18"

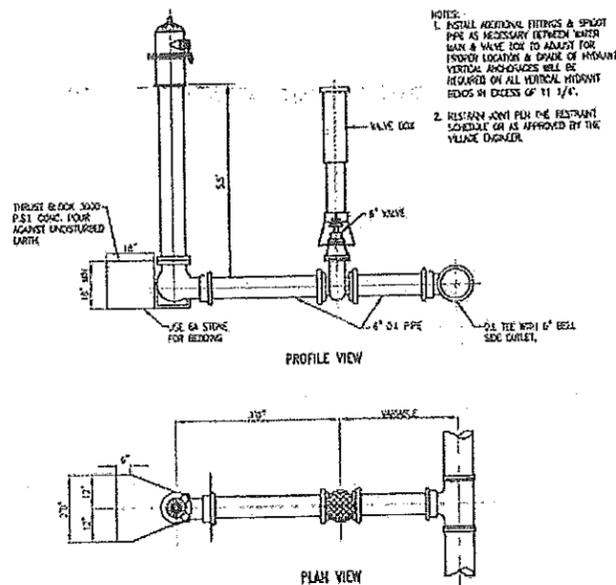


THRUST BLOCK AT 11 1/4° BEND

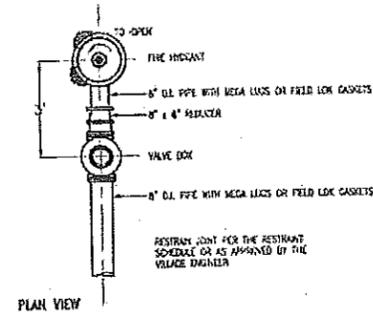
DA. OF TEE	THRUST BLOCK		
D	A	B	C
8"	18"	18"	9"
10"	20"	20"	12"
12"	22"	22"	15"
14"	24"	24"	18"



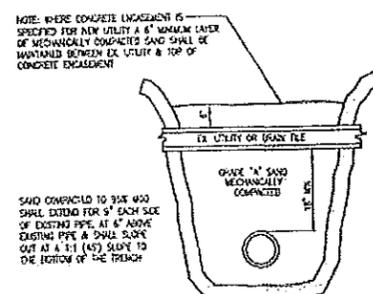
THRUST BLOCK AT TEE



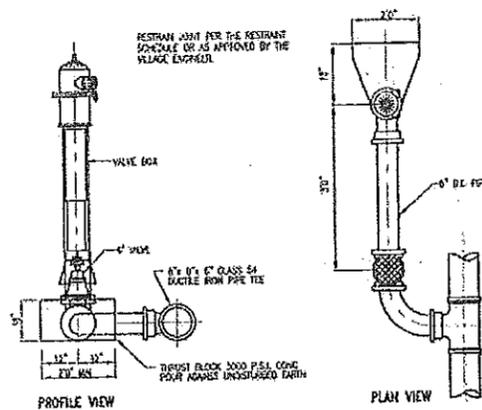
STANDARD HYDRANT SETTING



TEMPORARY HYDRANT



STANDARD PIPE SUPPORT



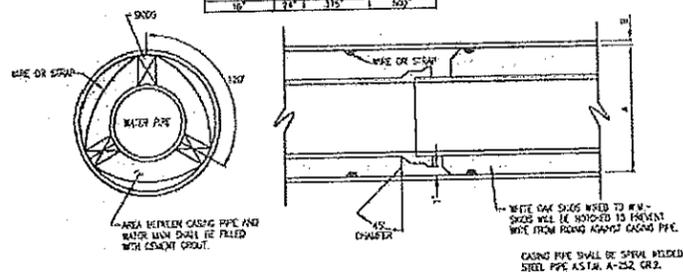
CLOSE COUPLE HYDRANT SETTING

WATER MAIN NOTES

1. ALL WATER SYSTEM CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND GENERAL SPECIFICATION OF THE VILLAGE OF DEXTER (APPROVED 04/01/2011) AND ANY OTHER AGENCY HAVING JURISDICTION OVER THE CONSTRUCTION AREA.
2. ALL SURFACE STRUCTURES, SUCH AS HYDRANTS, GATE VALVES AND VALVE BOXES SHALL BE SET TO GRADE AS APPROVED BY THE VILLAGE ENGINEER.
3. WATER MAIN SHALL BE PLACED LEVEL THROUGH ALL GATE VALVES.
4. PROVIDE A MINIMUM OF 5'-00\"/>

DA. OF WATER MAIN	MIN. COVER	MIN. COVER	MIN. COVER
D	A	B	C
8"	18"	18"	9"
10"	20"	20"	12"
12"	22"	22"	15"
14"	24"	24"	18"

- NOTES:
1. MAINTAIN MIN. OF 5\"/>



STANDARD CASING SECTION



VILLAGE OF DEXTER
 34000 Plymouth Road | Livonia, MI 48150 | P (734) 522-6711 | F (734) 522-6711 | WWW.OHM-ADVISORS.COM

VILLAGE OF DEXTER
 WATER MAIN DETAILS
 STANDARD DETAILS



D-Series Size 1 LED Area Luminaire

Specifications:

- Length: 12"
- Width: 6"
- Height: 4"
- Weight: 1.5 lbs

Introduction:

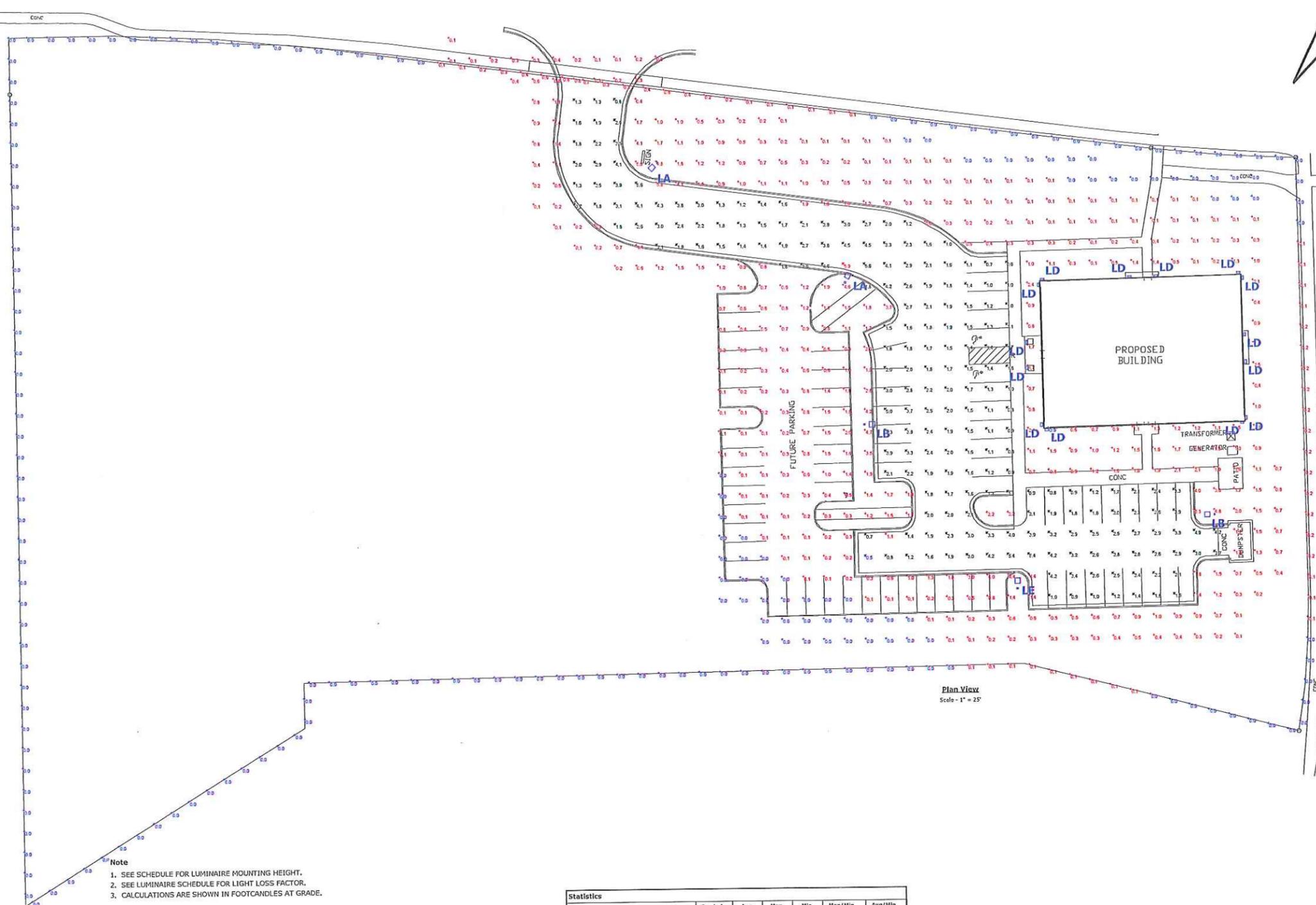
The modern styling of the D-Series is a key attribute of this luminaire. It is designed for use in a variety of applications, including parking lots, walkways, and general area lighting. The luminaire is available in a variety of mounting heights and beam spreads to meet your specific needs.

Example Data Table:

Mounting Height	Beam Spread	Footcandle
10'	120°	0.1
10'	120°	0.2
10'	120°	0.3
10'	120°	0.4
10'	120°	0.5
10'	120°	0.6
10'	120°	0.7
10'	120°	0.8
10'	120°	0.9
10'	120°	1.0
10'	120°	1.1
10'	120°	1.2
10'	120°	1.3
10'	120°	1.4
10'	120°	1.5
10'	120°	1.6
10'	120°	1.7
10'	120°	1.8
10'	120°	1.9
10'	120°	2.0
10'	120°	2.1
10'	120°	2.2
10'	120°	2.3
10'	120°	2.4
10'	120°	2.5
10'	120°	2.6
10'	120°	2.7
10'	120°	2.8
10'	120°	2.9
10'	120°	3.0
10'	120°	3.1
10'	120°	3.2
10'	120°	3.3
10'	120°	3.4
10'	120°	3.5
10'	120°	3.6
10'	120°	3.7
10'	120°	3.8
10'	120°	3.9
10'	120°	4.0
10'	120°	4.1
10'	120°	4.2
10'	120°	4.3
10'	120°	4.4
10'	120°	4.5
10'	120°	4.6
10'	120°	4.7
10'	120°	4.8
10'	120°	4.9
10'	120°	5.0
10'	120°	5.1
10'	120°	5.2
10'	120°	5.3
10'	120°	5.4
10'	120°	5.5
10'	120°	5.6
10'	120°	5.7
10'	120°	5.8
10'	120°	5.9
10'	120°	6.0
10'	120°	6.1
10'	120°	6.2
10'	120°	6.3
10'	120°	6.4
10'	120°	6.5
10'	120°	6.6
10'	120°	6.7
10'	120°	6.8
10'	120°	6.9
10'	120°	7.0
10'	120°	7.1
10'	120°	7.2
10'	120°	7.3
10'	120°	7.4
10'	120°	7.5
10'	120°	7.6
10'	120°	7.7
10'	120°	7.8
10'	120°	7.9
10'	120°	8.0
10'	120°	8.1
10'	120°	8.2
10'	120°	8.3
10'	120°	8.4
10'	120°	8.5
10'	120°	8.6
10'	120°	8.7
10'	120°	8.8
10'	120°	8.9
10'	120°	9.0
10'	120°	9.1
10'	120°	9.2
10'	120°	9.3
10'	120°	9.4
10'	120°	9.5
10'	120°	9.6
10'	120°	9.7
10'	120°	9.8
10'	120°	9.9
10'	120°	10.0

Lighting Software Screenshot

Software interface showing lighting calculations, including footcandle readings and luminaire placement. The interface includes a grid, a list of fixtures, and a detailed view of a luminaire's performance.



Plan View
Scale - 1" = 25'

- Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 - SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
 - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT GRADE.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

LIGHTING CONTROLS

- ALL POLE MOUNTED FIXTURES TO HAVE PRE-WIRED, FACTORY INSTALLED PHOTOCELL/ 360 DEGREE MOTION SENSORS: "PIRH" - SENSORSWITCH SBGR-6-ODP
- ALL BUILDING MOUNTED FIXTURES (EXCEPT DESIGNATED SECURITY FIXTURES) TO BE INSTALLED ON PROGRAMMABLE TIMER SWITCH. FIXTURES TO BE TURNED OFF DURING NON-OPERATIONAL BUILDING HOURS

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING/ DRIVE LTG VALUES	K	2.3 fc	5.9 fc	0.5 fc	11.8:1	4.6:1
PROPERTY LINE LTG VALUES	+	0.1 fc	0.8 fc	0.0 fc	N/A	N/A

Luminaire Schedule

Symbol	Label	Quantity	Manufacturer	Description	Catalog Number	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
□	LA	2	Lithonia Lighting	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE T2H OPTIC, 4000K, @ 1000mA (Integral motion sensor PIRH)	DSX1 LED 60C 1000 40K T2H INVOLT	LED	1	DSX1_LED_60C_1 000_40K_T2H_IV OLT.is	19103.6	0.9	209.28	18'-0"
□	LB	2	Lithonia Lighting	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, LEFT ROTATED TYPE T2H OPTIC, 4000K, @ 1000mA (Integral motion sensor PIRH)	DSX1 LED 60C 1000 40K T2H INVOLT	LED	1	DSX1_LED_60C_1 000_40K_T2H_LV OLT.is	19103.6	0.9	209.28	18'-0"
□	LD	14	VISA LIGHTING	EXTRUDED ALUMINUM HOUSING, FORGED ALUMINUM SPECULAR REFLECTOR, TRANSLUCENT WHITE ACRYLIC LENSES (alternate IES file used)	01V1300	ONE GE F39308K/SPK30 RATED AT 3070 LUMENS	1	01V1300-1F39.IES	3070	0.75	38	7'-0"
□	LE	1	Lithonia Lighting	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE T2H OPTIC, 4000K, @ 1000mA WITH HOUSE SIDE SHIELD (Integral motion sensor PIRH)	DSX1 LED 60C 1000 40K T2H INVOLT HS	LED	1	DSX1_LED_60C_1 000_40K_T2H_IV OLT_HS.is	14603.71	0.9	208.96	18'-0"



DAN HOEY ROAD
SITE LIGHTING VALUES AT GRADE
PREPARED FOR: AR BROUWER
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM

Designer
LB/KJS
Date
8/6/2015
Scale
Not to Scale
Drawing No.
#15-39790-V6
1 of 1



NORTH ELEVATION
SCALE: 1/8" = 1'-0"
2
A4.1

NORTH FACADE MATERIALS		
MATERIAL	QUANTITY	PERCENTAGE
BRICK	647 S.F.	49.8 %
CAST STONE	245 S.F.	14.4 %
E.I.F.S.	81 S.F.	4.7 %
GLASS & ANOD. ALUM.	400 S.F.	23.4 %
MANUFACTURED STONE	58 S.F.	3.4 %
METAL COLUMNS, CANOPY & TRIM	73 S.F.	4.3 %
TOTAL	1,704 S.F.	100.0 %



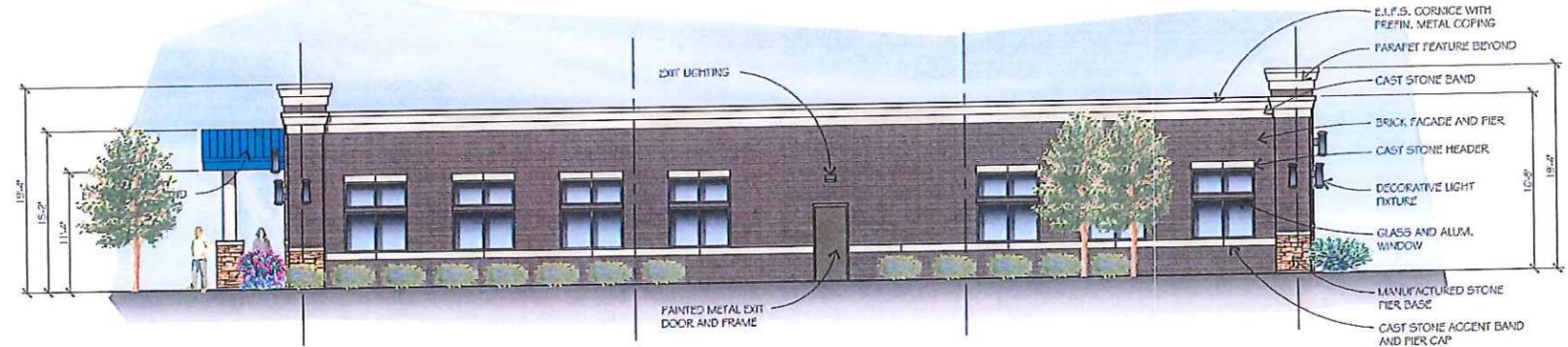
WEST ELEVATION
SCALE: 1/8" = 1'-0"
1
A4.1

WEST FACADE MATERIALS		
MATERIAL	QUANTITY	PERCENTAGE
BRICK	559 S.F.	41.7 %
CAST STONE	230 S.F.	17.1 %
E.I.F.S.	58 S.F.	4.4 %
GLASS & ANOD. ALUM.	294 S.F.	21.9 %
MANUFACTURED STONE	118 S.F.	8.8 %
METAL COLUMNS, CANOPY & TRIM	83 S.F.	6.1 %
TOTAL	1,342 S.F.	100.0 %



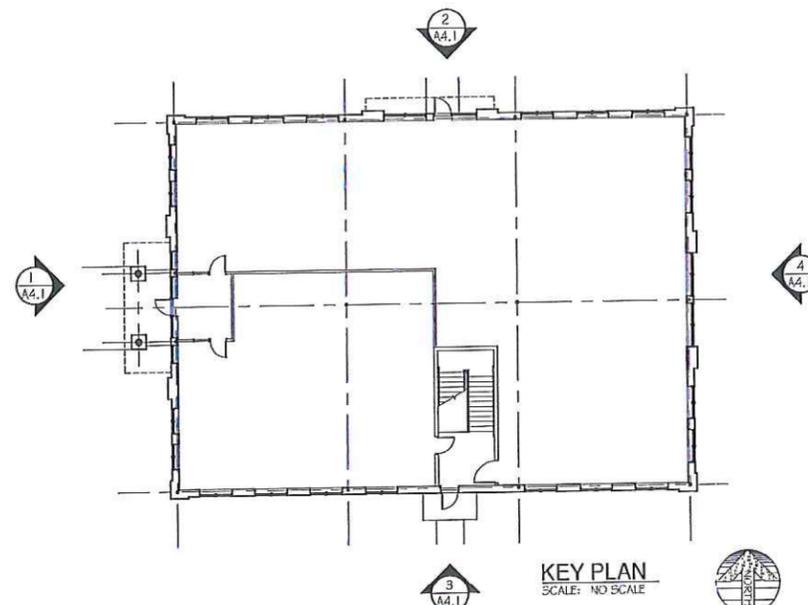
EAST ELEVATION
SCALE: 1/8" = 1'-0"
4
A4.1

EAST FACADE MATERIALS		
MATERIAL	QUANTITY	PERCENTAGE
BRICK	559 S.F.	44.8 %
CAST STONE	222 S.F.	17.7 %
E.I.F.S.	58 S.F.	4.7 %
GLASS & ANOD. ALUM.	320 S.F.	25.6 %
MANUFACTURED STONE	58 S.F.	4.7 %
METAL COLUMNS, CANOPY & TRIM	31 S.F.	2.5 %
TOTAL	1,248 S.F.	100.0 %



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
3
A4.1

SOUTH FACADE MATERIALS		
MATERIAL	QUANTITY	PERCENTAGE
BRICK	1,020 S.F.	62.4 %
CAST STONE	164 S.F.	10.0 %
E.I.F.S.	82 S.F.	5.0 %
GLASS & ANOD. ALUM.	280 S.F.	17.1 %
MANUFACTURED STONE	24 S.F.	1.5 %
METAL COLUMNS, CANOPY & TRIM	41 S.F.	2.5 %
PAINTED METAL DOOR & FRAME	24 S.F.	1.5 %
TOTAL	1,635 S.F.	100.0 %



KEY PLAN
SCALE: NO SCALE

GENERAL NOTES

1. ROOF TOP MECHANICAL UNITS WILL BE SCREENED AS REQUIRED. EXACT UNIT SIZES AND LOCATIONS ARE SUBJECT TO FINAL ENGINEERING.
2. SIGNAGE SHOWN FOR CONCEPT ONLY. SIZE, COLOR, DESIGN AND LOCATIONS ARE SUBJECT TO TENANT REQUIREMENTS AND LOCAL ORDINANCES. A MAXIMUM OF 42 S.F. TOTAL WILL BE PROVIDED.
3. DOORS SHOWN FOR CONCEPT ONLY. LOCATIONS ARE SUBJECT TO CHANGE PER FINAL TENANT INTERIOR LAYOUT.

DAN HOEY MEDICAL OFFICE

DEXTER,

MICHIGAN

OWNER/DEVELOPER

A.R. BROUWER CO. LLC
7444 DEXTER-ANN ARBOR ROAD
DEXTER, MICHIGAN 48130



WAH YEE ASSOCIATES
ARCHITECTS & PLANNERS

37911 WEST TWELVE MILE ROAD
FARMINGTON HILLS, MICHIGAN 48331
PHONE 248.489.9160 FAX 489.0133

PROJECT NO. 4843

CAD DWG 4843_COLOR A4.1-7-8-15.DWG

A 4.1

All ideas, designs, arrangements, and plans indicated or represented by the drawings are created by and the property of Wah Yee Associates and are not to be used, copied, or downloaded for use on any other project without the express written permission of Wah Yee Associates.

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUED:
SITE PLAN
SUBMITTAL 6-2-15
REVIEW 7-1-15
FINAL REVIEW
7-7-15
FINAL SITE PLAN
SUBMITTAL 7-8-15

August 31, 2015

Planning Commission
City of Dexter
8140 Main Street
Dexter, MI 48130

RE: Dan Hoey Medical Office

Dear Planning Commission,

Thank you for your consideration of the Final Site for the Dan Hoey Medical Office Building located along Dan Hoey Road in the City of Dexter.

The following information is in response to the consultant review comments provided regarding the Final Site Plan dated 8-4-15.

Carlisle Wortman letter dated August 24, 2015

1. See OHM letter dated August 25, 2015.
2. Attached. The owner provided a letter July 1, 2015 providing additional information on deliveries and types of delivery vehicles.
3. See OHM letter dated August 25, 2015.
4. Please consider the alternative landscape plan given the location and visibility of the parking lot. Extensive landscaping has been provided and additional buffering has been provided along the south property line as requested by the Planning Commission. We believe that the alternative landscape plan meets the intent of the Landscaping Ordinance and provides the desired screening.
5. The generator location is placed behind the building, and between the building and dumpster enclosure. We believe that the generator has been located on the site in the least visible location from the residential neighborhood to the south and Dan Hoey Road to the north. We understand the concern to be noise given a different generator location elsewhere in the City. The placement of the generator between the build and dumpster pad will screen and deflect the limited noise emitted from the generator. Please note that the proposed generator is ¼ of the size of the generator currently causing concern elsewhere in the City.
6. The proposed wall mounted light fixtures are an architectural feature of the building and not the typical wall packs used for security lighting. Please note the photometric plan for light illumination levels.

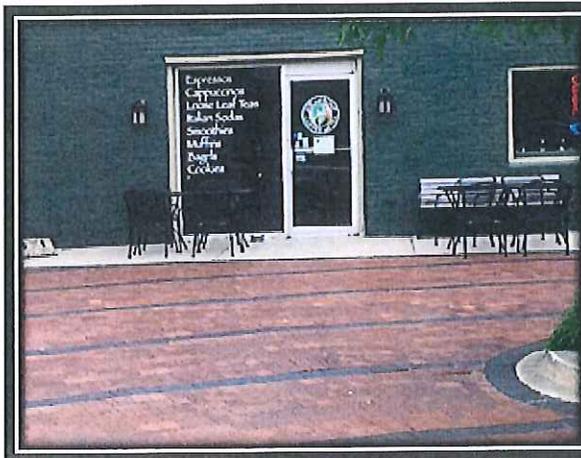
Please see the following locations throughout the City that have similar architectural lighting.



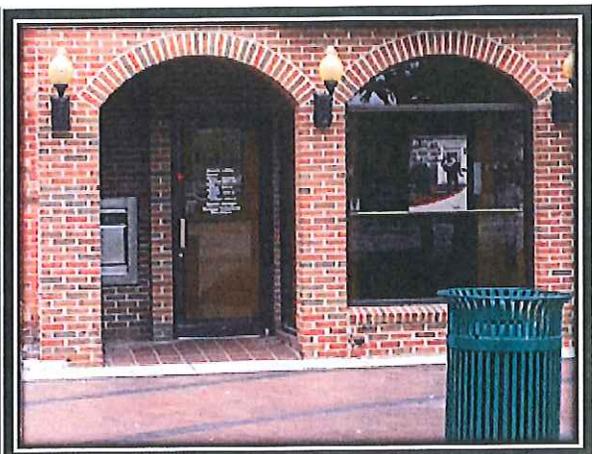
Chelsea State Bank



Dexter Plaza



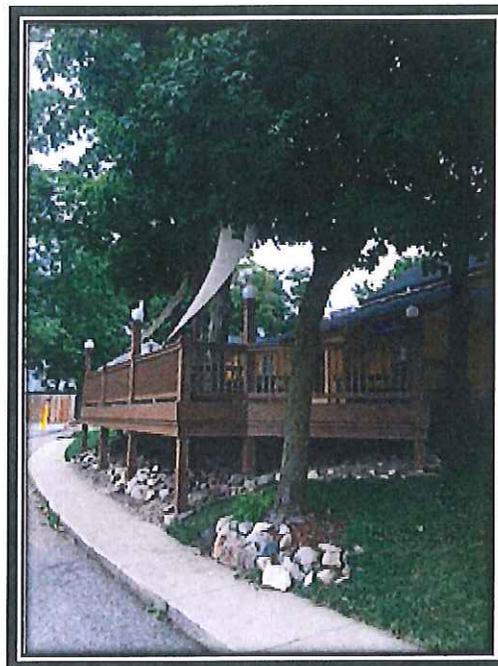
Joe and Rosie's



TCF Bank



3060 Baker Road



Terry B's

7. The application will apply for a sign variance for the ground sign location or relocate the sign within the setback requirements.
8. Additional information on signage will be provided at time of Sign Application submittal. The owner has not yet determined detailed signage.

OHM letter dated August 25, 2015

1. The outlet structure design will be changed as required. Revised Final Site Plans will be submitted upon approval by the City Council.
2. BMS, LLC is the owner and will be updated as requested.
3. An Act 399 application and plans will be submitted upon approval by the City Council.

DAFD letter dated June 6, 2015

1. Knox Box has been added to Sheet 3.
2. Fire Lane signage has been added to Sheet 3.
3. All other building and fire code requirements will be met as required by the building department.

It is our understanding that based on the above mentioned plan revisions and code compliance that we have met the requirements of the City of Dexter and respectfully ask for approval of the Final Site.

Please feel free to contact us with any additional questions or requested information.

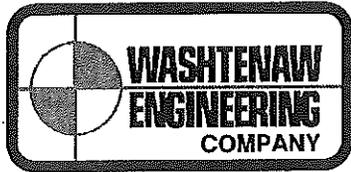
Thank you for your consideration.



Allison Bishop
AR Brouwer Company

PRINCIPALS
R.J. WANTY, P.E.
D.J. HOUCK

ASSOCIATES
T.L. SUTHERLAND, P.S.
D.L. MOORE



CIVIL ENGINEERS * PLANNERS * SURVEYORS
TRANSPORTATION ENGINEERS
LANDSCAPE ARCHITECTS

August 10, 2015

City of Dexter
8140 Main Street
Dexter, MI 48130-1092

Attn: Michelle Aniol, Community Development Manager

RE: Dan Hoey Medical Office Building
Combined Site Plan last revision dated July 8, 2015

Ms. Aniol:

We offer the following comments in response to the following review letters:

OHM letter dated July 24, 2015:

WATER MAIN AND SANITARY SEWER

1. Standard notes and details for the water main and sanitary sewer should be included.
The City of Dexter standard notes and details have been added to the plan set.
2. A quantity list shall be provided on the cover sheet listing pipe, valves, hydrants and services.
A quantity list for water main has been added to the cover.
3. Residential Equivalent Unit calculations are provided, but they do not appear to match the City of Dexter's connection fee schedule unit factors. The basis of design shall be revised based on this document (Council Resolution 19-2006).
The unit calculations have been revised.
4. A profile for the water main should be provided to include the following:
 - a. Length, size, type, and class of pipe
 - b. Top of casting elevation on gate wells
 - c. Special backfill areas
 - d. Utility crossings
 - e. Existing and proposed elevations***Water main profiles have been added on sheet 9.***
5. The plans shall show the building lead size, location and invert elevations at the building and connection point of the manhole. A connection should be made at the manhole via an external drop connection or a wye connection on sewer downstream of the tap manhole.
The lead information has been added. Due to depth of lead, no external drop connection needed.

3526 W. LIBERTY RD, SUITE 400, PO BOX 1128, ANN ARBOR, MI 48106-1128
PHONE: 734-761-8800

RECEIVED

AUG 10 2015

CITY OF DEXTER

6. The following must be shown in plan view:
 - a. Type, class and size of pipe
 - b. Slope of sewer
 - c. Top of casting elevation
 - d. Invert elevations

Sanitary sewer lead pipe information added to sheet 4.
7. The proposed water main will require and Act 399 Permit through the MDEQ. Upon satisfactory correction of the water main plans, the application shall prepare an application and submit four (4) full sized sets of prints to the City for submittal to MDEQ.

Acknowledged.

STORM WATER MANAGEMENT

8. The applicant has provided soil boring information. A statement regarding the feasibility of green infrastructure shall be provided by the applicant's design professionals.

A note has been added to sheet 4.
9. Standard notes and details for storm sewers shall be included in the final site plan.

Standard notes and detail sheets have been added to the plan set.
10. The storm sewer calculations should include a "C" factor for each drainage area in addition to the C and C*A information provided on the calculations.

The calculations have been updated.
11. The hydraulic grade line at end section R1 should equal the water service elevation for normal depth in the rain gardens for a 10-year event. Currently, it is shown to match the invert of the pipe at the outfall.

Structure R1 has been renamed to R2. The hydraulic grade line at R2 has been changed.
12. Profiles for storm sewer shall be provided and include the following:
 - a. Length, type, class size and slope of pipe between manholes
 - b. Top of casting and sewer invert elevation at all manholes
 - c. Existing and proposed ground elevations
 - d. All utility crossings
 - e. Special backfill areas

Storm sewer profiles have been added to sheet 10.
13. The grading plan shows a swale with a denotation indicating that a rain garden. However, no basis of design information is provided for this to demonstrate proper sizing for sedimentation removal. A proper volume can be determined by determining five percent of the required 100-year detention volume per WCWRC rules.

There is no longer a rain garden. Changed to sediment forebay design.
14. A calculation shall be shown to demonstrate the anticipated velocity of stormwater within the proposed rain garden area. Check dams or step pool structures may be necessary to ensure that vegetation growth can occur and infiltration can be promoted.

Calculations for ditch areas have been added to sheet 8.

15. While a detention basin is not necessary, a maintenance agreement with City may be required for the storm water treatment devices. In addition, the plan should consider future maintenance needs and ensure that an access corridor is provided in the event that dredging is required in the future.
Maintenance schedule for during and after construction added to sheet 8.
16. The proposed curb cut and rain garden do not appear to fully carry water to the existing 36" outlet at the southwest corner of the site. The plan shall be updated to show grading connecting these two locations.
The grading has been modified.
17. The proposed swale calculations consider a trapezoidal cross section. The grading plan shall be updated to show this.
The grading has been modified.
18. The rain garden shall include a cross section detailing soil media, excavation techniques and plantings.
No rain garden is proposed.

PAVING AND RIGHT-OF-WAY

19. The site shall specify the total number of vehicles anticipated to enter the site during peak hour periods. A City of Dexter standard commercial driveway configuration shall be selected based on the number of vehicles when compared against MDOT requirements. See MDOT Traffic and Safety note found here:
http://mdotcf.state.mi.us/public/tands/Details_Web/mdot_note604a.pdf.
Trips shown on sheet 3 entering the site. Per email from Patrick Droze on August 5, 2015 the driveway design is not changing.

GENERAL

20. A plan and description shall be provided of measures to control soil erosion and sedimentation during grading and construction operations until a permanent ground cover is established.
A construction sequence for SESC measures has been added to sheet 11.
21. Future submittals for final site plan shall include all relevant sheets (including standard details).
Acknowledged.
22. A cover letter indicating how each comment in this letter was addressed should be submitted with the revised plans by the Applicant.
Acknowledged.

Carlisle Wortman Associates letter dated July 24, 2015

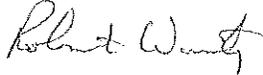
1. Indicate how soil constraints can be overcome in development of the property as proposed.
A sediment forebay has been added.
2. City Engineer review of site's essential services.
Acknowledged

3. Planning Commission consideration of deviation from loading space requirement (deficient one (1) loading space).
Acknowledged
4. DAFD and City Engineer review of site access and circulation.
Acknowledged
5. Modify planting composition to meet 10% species requirement.
Planting composition has been revised.
6. Coordinate plan and planting schedule to match.
Plan and planting schedule have been revised.
7. The applicant and Planning Commission should consider which screening provision would be most beneficial along the parking lot drive between the western parking area and the Dan Hoey ROW.
Acknowledged.
8. Modify planting schedule (Sheet 6) to depict correct requirements and proposed plantings.
Planting schedule has been revised.
9. Provide buffer/screening along entire southern property line.
Provided.
10. Demonstrate 3-foot berm on site plan/landscape plan.
West end of Lot 9 to Lexington Drive.
11. Relocate street trees to south property line.
Street trees have been removed.
12. Provide plantings on the south side of the dumpster enclosure.
Plantings have been added on south side of dumpster.
13. Consider alternate location for generator.
Generator location has not changed.
14. Provide detail of vinyl fence and boulder wall.
Boulder wall detail is on grading plan sheet 4.
15. Correct Photometric Plan page number on Cover Sheet.
Page number has been corrected.
16. Reduce illumination levels at south property line.
See Photometric Plan.
17. Relocate LE fixture to a parking lot island or eliminate.
See Photometric Plan.
18. Wall-mounted fixtures are required to be parallel to the ground.
See Photometric Plan.
19. Provide dimensions of ground sign placement from ROW and driveway.
Additional detail provided.

20. Provide detail of ground sign.
Additional detail provided. Note added that sign with conform to standards of Article 7 at time of application.
21. Provide cross-section of corner feature for final site plan depicting height of the proposed boulder wall.
See Section B-B on Sheet 3.
22. Provide location and screening method of all rooftop-mounted equipment, if applicable.
Building parapet will screen rooftop-mounted equipment.

If you have any questions please contact the undersigned.

Sincerely,



Robert J. Wanty, P.E., LEED AP

RJW/dlm



605 S. Main Street, Ste. 1
Ann Arbor, MI 48104
(734) 662-2200
(734) 662-1935 Fax

Date: July 24, 2015
Revised: August 24, 2015

Final Site Plan Review For City of Dexter, Michigan

GENERAL INFORMATION

Applicant: A. R. Brouwer Company

Project Name: Dan Hoey Medical Office

Plan Date: May 21, 2015

Latest Revision: August 4, 2015

Location: Vacant Dan Hoey (west of Lexington Drive) (HD-08-08-200-024)

Zoning: PB, Professional Business / PUD / Dexter Ann Arbor Road Corridor Overlay District

Action Requested: Final Site Plan Approval

Required Information: Deficiencies are noted in the sections below.

PROJECT AND SITE DESCRIPTION

This is our second review of the final site plan submittal for a new medical office and associated site improvements. The site is located at the southwest quadrant of the Dan Hoey and Lexington Drive intersection. The overall site is 4.26 acres and is zoned PB, Professional Office / PUD / Dexter Ann Arbor Road Corridor Overlay District.

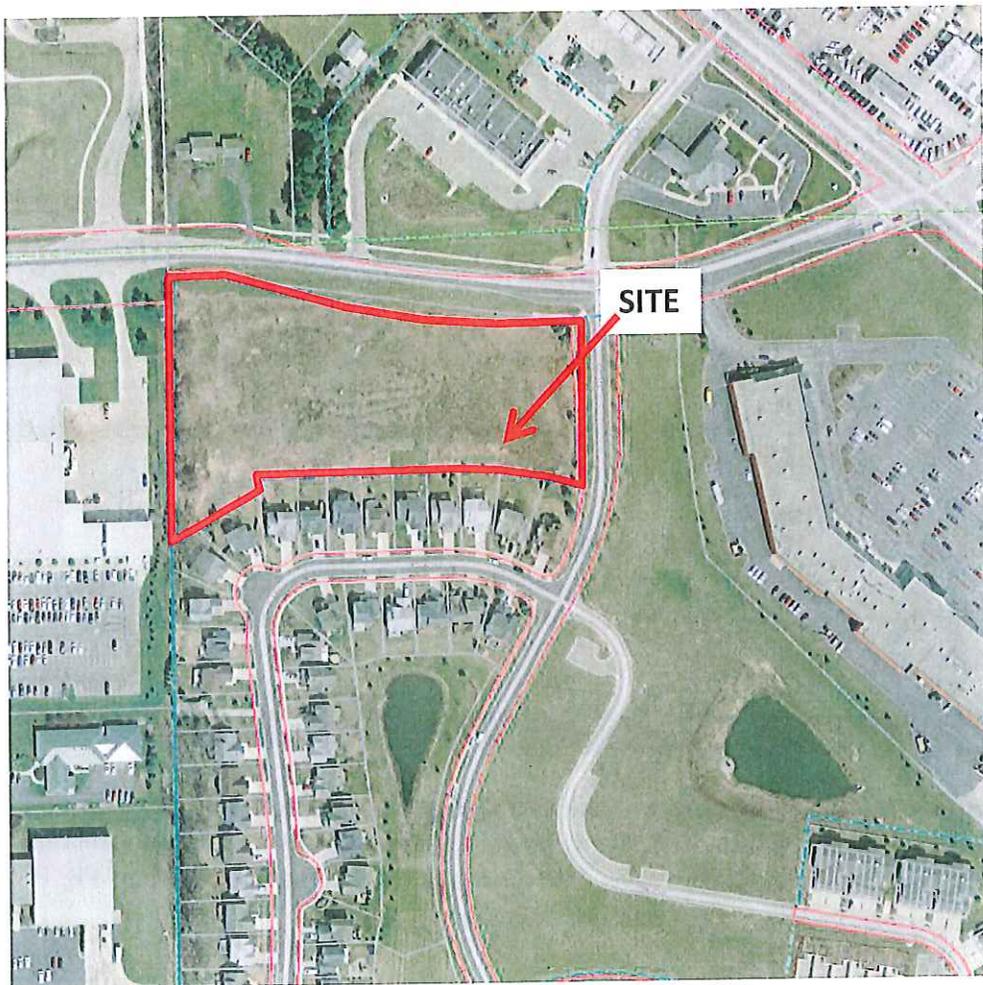
The proposed project includes construction of an 8,053 square foot building (including basement) on the northeastern portion of the site. The remaining portion (to the west) is shown for future development. Site improvements associated with the construction of the medical office include: parking areas, installation of drive from Dan Hoey, internal sidewalks, and exterior lighting.

We have reviewed the PUD development agreement that was approved by the City (then Village) in 1996 with the Blackhawk Development Group. The recorded Area Plan designated this portion of the development to coincide with the PB, Professional Business zoning district.

Office uses are listed as a permitted use in the PB district.

Further, since our preliminary review of the project, the building has been repositioned by rotating 90 degrees (longer elevation parallel to Dan Hoey as opposed to the previous submittal with longer elevation parallel to Lexington Drive).

Aerial Photo



AREA, WIDTH, HEIGHT, SETBACKS

The subject site is zoned PB, Professional Business. The dimensional requirements of the PB district are as follows:

	Required	Proposed	Compliant
Lot Area	2 acres	4.26 acres	Complies
Lot Width	200 feet	628.51 feet (at Dan Hoey)	Complies
Building Setbacks			
Front:	25 feet	29.8 feet (Dan Hoey) 28.2 feet (Lexington)	Complies
Side:	10 feet / 20 feet total	496 feet (west – to building)	Complies
Rear:	25 feet	25.5 feet (to parking) 120 feet (to building)	Complies
Building Height	2.5 stories / 35 feet	22 feet / 1 story	Complies
Maximum Lot Coverage	--	4.3%	Complies

All dimensional requirements of the PB district are demonstrated as being met as presented on the final site plan provided.

Items to be addressed: None.

NATURAL FEATURES

Topography: Existing topography is provided on Sheet 2, and demonstrates an approximate 15-foot grade reduction from the northeast corner of the site to the southwest corner.

Woodlands: Woodlands are not present on the subject site, but we note several existing trees are located along both the east and west property lines. These all appear to remain as part of this initial development of the site.

Wetlands: No wetlands are present on the subject site.

Soils: Soil data is provided on Sheet 2. Site soils include Conover Loam, 0-4% slopes. These soils are characterized by having some constraints to development which can be overcome by special planning, design or installation. The applicant has noted a sediment forebay has been added to the plans.

Items to be Addressed: None.

BUILDING LOCATION AND SITE ARRANGEMENT

The location of the proposed addition is acceptable as it meets all of the dimensional requirements of the PB district

Parking areas are configured along the west and south sides of the proposed structure. Future parking areas are also denoted west of the proposed site development area.

Items to be addressed: None.

ESSENTIAL SERVICES

The site will be served by sanitary sewer from Lexington Drive and water from Dan Hoey. As discussed during preliminary site plan review, stormwater detention is provided in part via the existing detention for the overall Dexter Crossing development.

We defer additional review and comment regarding the site's essential services and proposed rain garden to the City Engineer.

Items to be Addressed: City Engineer review of site's essential services.

PARKING, LOADING

Section 5.03 requires Medical/Dental Clinic/Office to provide 4 parking spaces per 1,000 square feet of gross floor area.

	Maximum Allowed	Total Parking Provided
Medical Office (4 per 1,000 s.f. – 8,053 x 4 = 32 spaces)	32	38
Barrier Free	2	2
Loading Space	3	2

The site plan provides the proposed parking calculation information on Sheet 3. Based upon the building area provided, we calculate the maximum parking spaces allowed to be 32 spaces; 38 spaces have been provided. (Section 5.03 provides maximum requirements). The Planning Commission allowed a deviation from the requirements based on the applicant's demonstration of need during preliminary site plan review for six (6) additional parking spaces (as proposed). During their preliminary site plan review, the applicant indicated to the Planning Commission the need for additional spaces due to the number of staff and high number of clientele turn-over throughout the day.

Parking spaces meet the dimensional requirements of Section 5.06 B. Additionally, two (2) bicycle parking hoops are demonstrated at the main building entrance on along the west elevation.

A loading area has not been provided. Based on the size of the proposed structure, one (1) loading space is required. Section 5.07 G. allows the Planning Commission to permit deviations from the loading requirements based upon the needs of the applicant/site. The applicant noted typical box truck deliveries will be accommodated on-site. While this deviation was discussed during preliminary site plan review, it was not made part of the motion of approval.

Items to be addressed: *Planning Commission consideration of deviation from loading space requirement (deficient one (1) loading space).*

SITE ACCESS AND CIRCULATION

The site will be accessed via a new driveway approach from Dan Hoey Road which has been aligned with the existing driveway on the north side of Dan Hoey Road. The proposed driveway is located approximately 320 feet from the Dan Hoey / Lexington intersection as well.

Truck circulation appears satisfactory as truck turning radii have been provided on Sheet 3. We defer further comment on site access and circulation to the DAFD and the City Engineer.

Items to be addressed: *DAFD and City Engineer review of site access and circulation.*

SIDEWALKS

The existing public sidewalk on Dan Hoey will be modified to allow for driveway placement. Internal sidewalks have also been incorporated into the site design from the parking areas along the north, west and south building elevations and from the northern entry to the public sidewalk located along Dan Hoey Road. No internal pedestrian connection has been accommodated from the Lexington Road public sidewalk since there is no entry along the eastern elevation.

Items to be addressed: *None.*

LANDSCAPING

A landscape plan has been provided on Sheet 5 of the plan set, and it is signed and sealed by a landscape architect licensed in the State of Michigan as required. The landscape plan contains the following information:

Composition – Section 6.02 B. notes *no more than 25% of any one genus or 10% of any one species per site plan* is allowed. As presented on the planting schedule (Sheet 5), the composition of the proposed junipers (JS) has been reduced as noted in our previous review.

Parking Lot Screening – Section 6.04 requires parking lots that abut a public street to provide specific screening. Due to the configuration of the site presented, the parking areas do not directly abut either Dan Hoey or Lexington Drive; however, they are visible. Section 6.04 B. requires three (3) variations of screening requirements: 1) 10 shrubs per lineal 30 feet (60 shrubs would be required); 2) 5 shrubs per 30 lineal feet and a 3-foot high decorative fence (30 shrubs with fence); or 3) 5 shrubs per 30 lineal feet and a 3-foot high masonry screen wall (30 shrubs with screen wall).

The applicant has provided a combination of 45 shrubs and four (4) trees along the northern extent of the access drive between the drive and Dan Hoey Road. This screening is in addition to the street trees proposed along Dan Hoey Road. The Planning Commission should consider whether the proposed plantings are a suitable alternative to the three (3) options noted above.

Interior Parking Lot Landscaping – One (1) canopy tree and 100 square feet of landscaped area are required for every 10 spaces (rounded upward) (Section 6.08 D.1.). Based upon this standard and the 38 parking spaces proposed, four (4) parking lot trees and 400 square feet of landscaped area are required. The applicant has provided six (6) parking lot trees and noted 1,581 square feet of landscaped area within the parking area.

Buffer/Screen – Section 6.06 outlines the buffer requirements for screening between land uses. The subject site is located north of the existing Dexter Crossing subdivision requiring a Buffer Zone “C” along the south property line. Buffer Zone “C” is required to be composed of a minimum of 15 feet in width with a 6-foot wall / fence or a 3-foot berm that shall have one (1) ornamental tree OR one (1) evergreen tree AND five (5) upright shrubs every 30 feet along the property line. Based upon this requirement, 23 ornamental or evergreen trees and 115 shrubs are required within the 15-foot buffer area along the entire length of the south property line. The plan demonstrates 23 trees and 90 shrubs within the required 15-foot buffer area along the entire length of the southern property line of the development.

We note the Landscaping Requirements table on Sheet 6 indicates 115 shrubs have been provided as required. However, only 90 shrubs are depicted on the plan. Further, due to the proximity of the proposed development to the existing Dexter Crossing residential development, we had recommended previously that the applicant screen the entire south property line at this time. While the plan has been improved to demonstrate plantings along the entire south property line, a note has been added indicating the portion that will be part of a future phase (westernmost portion).

Detail of the rock/boulder wall south of the parking area is provided on Sheet 4. The top of the berm is seven (7) feet higher than the existing grade at the south property line. The berm cross-section (Sheet 4) depicts an 18” tall rock wall will in addition to the evergreen and shrub plantings will aid in mitigating headlight glare onto the adjacent residential properties.

Site Landscaping – Section 6.07 requires 5% of the total lot area be provided for site landscaping. The landscape schedule indicates 6.2% of the site contains additional landscaping.

Street Trees – One (1) street tree is required every 40 feet (maximum). The applicant has provided for five (5) trees along Dan Hoey as required.

Waste Receptacle / Equipment Screening – The dumpster enclosure is located south of the building east of the proposed parking area. Detail of the enclosure is provided on Sheet 6. A note on Sheet 3 indicates the dumpster enclosure to be constructed with the same exterior materials as the proposed building at a 6-foot height. A row of Wichita Blue Junipers is proposed to screen the eastern side of the enclosure from Lexington Drive, and Miss Kim Lilac plantings will screen the dumpster along the south side of the enclosure.

A transformer and generator are located north of the patio adjacent to the southeast corner of the building, north of the patio area. This area will be enclosed with a 6-foot white vinyl fence, and a row of Emerald Green Arborvitae is proposed to screen the eastern periphery from Lexington Drive. Detail of the proposed fence has been provided on Sheet 6.

Further, due to the potential noise created from the generator, its location may create a disturbance to the residential neighbors. An alternate location should be considered where potential noise can be mitigated away from the residential area. The applicant has noted in their cover letter the generator location has not changed.

Tree Removal and Replacement – No trees are demonstrated for removal as part of the development. However, existing shrubbery in the northeast corner of the site is noted to be removed and relocated adjacent to the proposed corner feature.

Items to be addressed: 1) *The Planning Commission should consider if the proposed plantings along the parking lot drive between the western parking area and the Dan Hoey ROW are an acceptable alternative.* 2) *Provide buffer/screening along entire southern property line during initial development phase.* 3) *Consider alternate location for generator.*

LIGHTING

A lighting plan has been provided on Sheet 1 of 1 (Page 12). Five (5) 18-foot tall pole-mounted fixtures and 14 wall-mounted fixtures are shown on the lighting plan. Detail of the proposed pole-mounted fixtures demonstrates they are downward directed, fully shielded fixtures.

Section 3.19 E. (4) provides on-site exterior lighting requirements as they related to non-residential developments. As proposed, illumination levels along the south property line meet the 0.1 foot-candle requirement along a property line shared with residential uses. Parking lots having less than 100 spaces are allowed light poles with a maximum height of eighteen (18) feet. As demonstrated on the lighting plan, mounting height of the proposed fixtures has been reduced from the previously proposed 25 feet height to the allowed 18 feet.

We note decorative light fixtures are shown on all building elevations (Sheet A 4.1). These fixtures have been included on the photometrics presented on Sheet 1 of 1. Detail of the wall-mounted fixtures has been provided; however, Section 3.19 E. (3) requires *for all non-residential uses, full-cut-off shades are required for light sources so as to direct the light onto the site and away from adjoining properties. The light sources shall be recessed into the fixture so as not to be visible from off site. Building and pole mounted fixtures shall be parallel to the ground.*

The applicant has not provided an alternative wall-mounted fixture that is downward directed. They have added a note to Sheet 1 of 1 that states: *All building-mounted fixtures (except designated security fixtures) to be installed on programmable timer switch. Fixtures to be turned off during non-operational hours.* This however, does not meet the requirement of Section 3.19 E. (3) as noted above.

Items to be addressed: *Wall-mounted fixtures are required to be parallel to the ground.*

SIGNS

A freestanding sign is demonstrated on the east side of the proposed driveway. Dimensions from the property line and driveway have been provided to verify compliance with dimensional requirements outlined in Section 7.03 F. (10 feet from ROW / 15 feet from edge of principal driveway). However, the sign is located 30 feet from the existing ROW and approximately 3 feet from the proposed ROW. The sign is positioned 15 feet to the east of the drive, but only six (6) feet (estimated) from the northern boundary of the driveway. We understand signage placement will be difficult due to the configuration of the drive and the existing/proposed ROW. However, if the sign is proposed to be installed in the location demonstrated, a variance will have to be obtained due to the reduced setbacks from the proposed ROW and driveway.

Signage detail of the ground sign has been included in the plan set on Sheet 6. As provided the dimensions of the proposed sign are adequate. Detail of the sign base materials and internal illumination will be approved by the Zoning Administrator prior to installation.

Additionally, two (2) wall sign locations totaling 42 square feet of area (21 square feet each) are also proposed along the north building elevation. The proposed wall signage meets the requirements of Section 7.04 as presented.

Items to be addressed: *1) Obtain variances for signage setbacks. 2) Provide base structure and illumination detail of ground sign for Zoning Administrator review and approval prior to installation.*

FLOOR PLANS AND ELEVATIONS

Floor plans as well as all elevations have been provided. See the ARC Architectural Standards section below for further analysis.

Items to be addressed: None.

ARC – DEXTER ANN ARBOR ROAD CORRIDOR ARCHITECTURAL STANDARDS

Section 15(B).02 outlines the architectural standards for the Dexter Ann Arbor Road Corridor District including requirements related to:

Building Orientation:

The main entrance of the building is oriented toward the parking lot (west). However, the northern façade also allows for pedestrian access from Dan Hoey Road. The east elevation adjacent to Lexington does not provide direct access via an entry, but has been designed with the same features as the north and west elevations that do provide access.

Building Scale:

We find the building scale appropriate with surrounding commercial uses. Additionally, the building design allows for façade modulation through the use of columns, varying exterior materials (brick, stone, EIFS), providing canopies at entries, and variation in the roofline through the use of columns and a parapet feature.

Defined Streetscape:

As proposed, the building meets the dimensional requirements of the PB district. Further, as noted above, the building has appropriate massing, and is oriented toward Dan Hoey Road. The internal sidewalk provides a direct connection to the public sidewalk along Dan Hoey.

Building Materials/Design:

Variety in building materials and design is shown through the use of arched canopies and entrances; columns and parapet alternating the roofline; brick, stone and EIFS materials; and decorative lighting. All facades exceed 40 feet in length and are required to demonstrate varying building lines, entrance accents and windows which have all been provided.

Where the side or rear of a structure will be visible from a residential zoning district such façade shall be constructed to a finished quality comparable to the front façade (Section 15(B).02 D. 5.). As provided, the south building elevation faces the Dexter Crossing residential subdivision. The exterior materials provided on the south building elevation are the same as those found on the front façade. However, based on the design, it is clear this is the rear façade as there is not the same entry component (parapet, arched canopy, columns) as proposed on all other facades.

As a corner lot, the building is required to provide distinct and prominent features or site elements which reflect the importance of the building's corner location and creates a positive landmark. Entry features such as benches, signage, public art, etc. may be required by the Planning Commission. The applicant has provided for brick paver area with a boulder wall and benches as the corner feature.

Transformer and generator location is depicted along the eastern building elevation which will be visible from Lexington Drive. Section 15(B).02 D. 7. requires all mechanical equipment be screened from public view. This includes roof-mounted equipment as well. See the landscaping section above with regard to the transformer and generator screening. The applicant has added a note to Sheet A4.1 stating: *rooftop mechanical units will be screened as required. Exact unit sizes and locations are subject to final engineering.*

Overall, the proposed exterior materials meet the 80% requirement (Section 15(B).02 D. 8. as demonstrated on the tables provided for each elevation on Sheet A4.1. We note EIFS is only allowed as an accent and does not exceed 5% of the total exterior building materials to be used on any elevation.

Items to be Addressed: None.

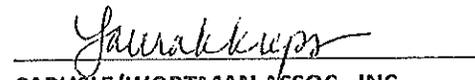
RECOMMENDATIONS

Prior to recommending approval of the final site plan, we recommend the applicant address the following comments to the satisfaction of the Planning Commission. Our comments are summarized below:

1. City Engineer review of site's essential services.
2. Planning Commission consideration of deviation from loading space requirement (deficient one (1) loading space).
3. DAFD and City Engineer review of site access and circulation.
4. The Planning Commission should consider if the proposed plantings along the parking lot drive between the western parking area and the Dan Hoey ROW are an acceptable alternative.
5. Consider alternate location for generator.
6. Wall-mounted fixtures are required to be parallel to the ground.
7. Obtain variances for signage setbacks.
8. Provide base structure and illumination detail of ground sign for Zoning Administrator review and approval prior to installation.



CARLISLE/WORTMAN ASSOC., INC.
Douglas J. Lewan, PCP, AICP
Principal



CARLISLE/WORTMAN ASSOC., INC.
Laura K. Kreps, AICP
Associate

241-1417

cc: Steve Brouwer, 7444 Dexter Ann Arbor Rd., Suite F, Dexter, MI 48130
Washtenaw Engineering, 3526 W. Liberty Rd., Suite 400, Ann Arbor, MI 48103
BLMS, LLC, 8031 Main Street, Suite 303, Dexter, MI 48130



ARCHITECTS. ENGINEERS. PLANNERS.

August 25, 2015

CITY OF DEXTER
8140 Main Street
Dexter, MI 48130

Attention: Ms. Michelle Aniol (Sent via Electronic Mail)
Community Development Manager

Regarding: Dan Hoey Medical Center
Final Site Plan – Review No. 2
OHM JN: 0130-15-1031

Ms. Aniol:

The applicant, Steve Brouwer with AR Brouwer Company, is proposing an office building with surrounding parking lot in the northwest quarter of Section 8. We have reviewed the final site plan in accordance with the City of Dexter Engineering Standards and recommend approval contingent on a few minor revisions. The following items shall be addressed prior to construction:

STORM WATER MANAGEMENT

- 1. To allow for drainage, perforations shall be provided at the bottom of the outlet control structure. The perforations should be capable of draining the fore bay within 24 hours to facilitate successful vegetative growth.
- 2. The use of the term “BMS, LLC” on the Maintenance Schedule shall be clarified.

WATER MAIN

- 3. The water main design is acceptable. The Engineer shall submit four (4) sets of plans and an Act 399 Application to this office for processing.

Should you have any questions about this review, please feel free to contact me at 734-466-4573 or via e-mail at pat.droze@ohm-advisors.com.

Sincerely,
OHM Advisors

Patrick M. Droze, P.E.
Project Engineer

- cc: Courtney Nicholls, City Manager (e-mail)
 Dan Schlaff, Public Services Superintendent (e-mail)
 Don Dettling, Dexter Area Fire Department (e-mail)
 Steve Brouwer, AR Brouwer Company, 7444 Dexter Ann Arbor Road, Suite F, Dexter, MI 48130
 Robert Wanty, P.E., Washtenaw Engineering, PO BOX 1128, 3526 W Liberty Rd, Suite 400, Ann Arbor MI 48106
 File

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Dexter Area Fire Department

August 29, 2015

Michelle Aniol
Community Development Manager
City of Dexter
8140 Main St.
Dexter, MI 48130

Subject: Plan review of: Dan Hoey Medical Office
Plans dated: August 4, 2015

Dear Mrs. Aniol:

The Dexter Area Fire Department (DAFD) has reviewed plans submitted to our Department. We have reviewed these plans with Fire Safety and Prevention in mind. Our resources are the Village's Fire Protection Ordinance and Village's Engineering Standards. Below are our comments.

DAFD Comments: None

Village of Dexter Engineering Standards (as it refers to fire hydrant location & fire department connections): Within Standards

Fire Protection Ordinance: Requirements of this Ordinance will need to be incorporated in future plans before approval: related but not limited to: Knox Box International Fire Code (IFC) Section 506, Addressing IFC Section 505, Minimum Roadway Widths IFC Section D 103, Fire Lane Signage IFC Section 503.3 & D 103, Portable Fire Extinguishers IFC Section 906 Fire Suppression, Fire Alarm Systems and Kitchen Fire Suppression System (if Applicable) IFC 105.7 & Washtenaw County Building Department.

DAFD Requirements: Noted on Plans

DAFD Recommendations: Support Approval

Donald Dettling
Fire Inspector

Cc/

Fire Chiefs Bob Wagner, John Zahn
City Mgr. Courtney Nicholls





STAFF REVIEW

To: Chairman Kowalski and Planning Commissioners
Courtney Nicholls, City Manager

From: Michelle Aniol, Community Development Manager

Re: NUBC Expansion – Display Kitchen and Dining Area (NULL 2)
2319 Bishop Circle W

Date: September 1, 2015

Proposal

Northern United Brewing Company (NUBC) submitted an Application for Interior Remodeling to install a production kitchen, display kitchen and dining area, to be known as NULL 2, in its existing facility at 2319 Bishop Cr E. NULL stands for Northern United Liquid Libations. The area of the proposed dining area measures 4,331.25 sq. ft., or 6% of the 68,000 sq. ft. facility. The area of the existing tasting room, known as NULL Tap Room, is 5,820 sq. ft., which is 9% of NUBC's entire facility. Together, the total area of the existing taproom and proposed dining area would be 10,151.25 sq. ft., or 15% of the NUBC facility.

NUBC plans to produce all their fermented products, such as pickles, kimchi, etc., and all of their pizza dough, bread and other baked goods, curry potato chips, etc. In addition, NUBC's expansion plans call for a dining area, adjacent to the existing tasting room, for consumption of the products manufactured on-site, as well as food products they create to pair with the beer, wines, spirits and meads they manufacture.

Property in DBRP is zoned RD Research Development District. According to Section 17.02, sub-section B of the Zoning Ordinance, principal permitted uses in the RD District included manufacturing, compounding, processing, packaging or treatment of such products as, but not limited to: bakery goods, candy, cosmetics, pharmaceuticals, toiletries, food products, non-animal agricultural products, hardware and cutlery, tools, die, gauge and machine shops. Uses such as, smelting or other similar processing of raw ores and metals, petroleum products and products with petroleum bases, from asphalt to perfume, and slaughtering and/or processing of animals and animal parts are not permitted. Therefore expansion of food production is a permitted use in the RD District.

Other uses listed in Section 17.02, sub-section B, as being permitted within the RD District, include printing operations, laboratories, storage of materials to be used on site and of products made on-site, testing facilities, retail/showroom for goods manufactured on site or in conjunction with site operations, not to exceed 15% of the total gross floor area; and accessory uses. As you may recall, staff interpreted that section of the ordinance would allow the proposed dining area because it is an accessory use to the principle use (i.e. beer manufacturing); however, staff also recognizes that not everyone agrees with that finding.

Therefore, on February 2, 2015 the Planning Commission engaged in a discussion of the topic. Consensus of the Planning Commission (at that time) to determine the compatibility of a "dining area for eating and drinking" (as an accessory use to the brewery) in the research park, followed by a determination of whether the "use" should be permitted or require special approval, in accordance with Section 3.07 Uses Not Otherwise Included within a District.

At its May 4, 2015 meeting consensus of the Planning Commission was that an accessory dining area for eating and drinking was a compatible use in the research park.

During your meeting on Monday, September 8, 2015, the Planning Commission must officially take action to determine the following:

- 1 Is a dining area for eating and drinking, as an accessory use to the brewery, compatible in the RD District?
- 2 If yes, should an accessory dining area for eating and drinking be permitted by-right or as a special land use?

Section 3.07 Review Considerations

To help the Planning Commission determine if the proposed food tasting room should be a permitted or special land use, staff has prepared the following summary:

Background and History

- On June 4, 2012 the Planning Commission made the following determinations regarding NUBC's request for a tasting room measuring less than 15% of the total gross floor area of the building at 2319 Bishop Circle East:
 - A tasting room is a compatible use within the RD Research Development District.
 - A tasting room is a special land use.
- On August 6, 2012, the Planning Commission recommended special use approval of NUBC's tasting/sampling room to Council, upon determining the use was compatible in accordance with the provisions set forth in Section 8.03, General Review Standards for all Special Land Uses, with the following conditions:
 1. Hours of operation are limited to 10 am to 10 pm;
 2. A temporary use permit must be filed requesting an extension of hours of operations for special events;
 3. Provide a detailed floor plan for the tasting room and retail sales to verify compliance with the City (then Village) Zoning Ordinance requirements; and
 4. Payment of a tap fee as required by City (then Village) ordinance and resolution.
- On August 22, 2012, City (then Village) Council granted NUBC special use approval for the tasting/sampling room, subject to the conditions recommended by the Planning Commission and with an additional condition that such approval was contingent upon the proposed definition of a tasting room being passed by Planning Commission and City (then Village) Council.
- On September 10, 2012 City (then Village) Council adopted the following definition of a tasting room, as recommended by the Planning Commission:

"A tasting room is an establishment that allows customers to taste samples of wine, beer or other alcoholic beverage manufactured on site or that has a State of Michigan issued liquor license as a tasting room. A tasting room may include wine, beer, or other alcoholic beverages and related item sales, marketing events, special events, entertainment, and/or food service. Establishments that are classified by the State Liquor Control Board as bars, nightclubs, taverns, restaurants or Class C liquor licenses are not included within this definition."

The State Liquor Control Board does not classify tasting rooms or dining areas within a micro-brewery/brewery, as bars, nightclubs, taverns, and/or restaurants. The state considers areas where beverage and food are produced for on-site consumption as an accessory to the brewery, winery, meadery, and distillery. As such, these businesses are not required to obtain an additional liquor license. The Planning Commission, and ultimately City Council, must determine if the Dexter Business and Research Park should evolve to meet the changing needs of business and industry or if it should remain the way it was initially envisioned.

Craft Beer Industry Economics

The Planning Commission should also consider the evolution and economic impact of the craft beer industry. According to the Brewers Association, the trade association representing small and independent American craft brewers, craft brewers grabbed an 11% volume share of the marketplace in 2014. Production volume rose 16% from January 1 through June 30, 2015, as compared to the same time last year. The number of craft breweries in Michigan has grown from 3 in 1991 to 159 by the end of 2014. The state estimates the craft beer industry pumped about \$133M into the state's economy in 2012. Nationwide, Michigan ranks:

- 6th in the number of craft breweries (159).
- 14th in breweries per Capita (2.2 per 100K 21+ adults).
- 31st in Impact per Capita (\$140M)
- 10th in economic impact (\$1,005.1M).
- 10th in production (825,103 barrels of beer/year)
- 13th in the number of gallons per 21+ adult (3.6)

In 2014 Thrillist.com rank Michigan #4 out of 50 based on quality and quantity. Thrillist is an online magazine that focuses on food, drink and travel. The following is an excerpt from that report:

"The Great Lakes State may not be a prolific hops producer, or contain one brewery for every man, woman, and child (they do have about two for every 100,000 adults, according to the Brewers Association). But mittens were meant for holding cold brews, and Michigan happens to host some of the best damned breweries in the country.

There's a reason that the annual release of Bell's Oberon is like a state holiday, and why it's Two-Hearted is consistently ranked among the best IPAs in the world; even as many drinkers don't realize it's an IPA. Or why Larry Bell's neighbors to the North, Grand Rapids' Founders, has become one of the nation's most respected brewers, so much so that Grand Rapids is now on the map as a destination beer city. Why, folks set up shop in the tiny lake town of Bellaire just to sip Short's, or head south to Dexter for a look at how Jolly Pumpkin is made.

Beer in Michigan is a way of life, an economic booster that's helping Detroit pull-out of the apocalypse and a soul cleanser up in the UP, where long winters are made better with a growler from Ore Dock. And if that's not convincing enough, consider this: in Ann Arbor and East Lansing, when the chaos of a tailgate clears, you'll see as many empty bottles of craft beer scattered about as you will tallboys with holes punched in the side. In Michigan, beer love starts early."

What is driving this growth? Craft beer manufacturers do not want to be just beer factories; they want to be destinations. The tasting room is a central to that plan. It's not just a place where guests sip samples out of plastic cups. It serves as a store front. It's a laboratory for testing new recipes for beer and food. It's also a community room when locals and visitors kibitz about sports, politics and the merits of the local beer. It's a place where the brewer has the opportunity to introduce more customers to the products its manufacturers on the premises.

The craft beer industry is experiencing tremendous growth, especially in Michigan. Furthermore, larger craft beer manufacturers are adding full-service restaurants to new or expanded breweries in order to introduce more customers to their products manufactured on the premises. *This corresponds with the information provided to the Planning Commission on March 2, 2015, regarding Value Added Agriculture and Trends in the Craft Beer Industry.*

Land Use in the Research and Development District:

In reviewing the permitted and special land uses within the RD District staff finds the proposed accessory dining area a compatible use within the RD District. Staff would support a determination that the term

"food service" includes a dining area. Therefore, it logical to conclude the Planning Commission could determine the proposed accessory dining area is a permitted use.

Permitted uses are uses by right. In this case, administrative would be required to determine the uses conformance to the City of Dexter Zoning Ordinance Standards. Special land uses require additional approvals, which includes a public hearing and demonstration of compliance with the general review standards set forth in Section 8.03. Regardless of whether the Commission decides to make the proposed dining area a permitted or special land use, staff recommends the establishment of a couple specific development standards for accessory dining in the RD District, such as the following:

- i. A minimum gross floor area of 15,000 square feet for facilities manufacturing/producing beer, wine, distilled spirits, and/or meads. This purpose of this standard is to avoid the possibility of creating a loophole for restaurants, with limited on-site manufacturing product operations, potentially locating in the RD District.
- ii. A 15% maximum floor area for accessory on-site eating and drinking establishment in facilities that manufacture or produce beer, wine, mead and distilled spirits. This standard would curb retail creep.

Outdoor Seating Area – The applicant is not proposing outdoor seating at this time. However, this would be an appropriate opportunity for the Planning Commission to consider whether outdoor seating should be permitted in the future.

Hours of Operation – The manufacturing operations run 24 hours a day. The existing tasting room hours of operation were set by the Planning Commission from 10 am to 10 pm. The proposed dining area should have the same hours of operations as the existing tasting room.

Traffic Generation – To get an understanding of the potential average number of vehicle trips per day that the proposed dining area would generate, staff consulted Carlisle Wortman Associates (CWA) and the Institute of Traffic Engineers (ITE) Trip Generation Manual. According to Mr. Lewan, ITE does not have a category for a "restaurant with bar", or a "tasting room" and/or "dining area within a brewery", for that matter. Unfortunately, the numbers for a "drinking place" report peak traffic generated, but not the average daily traffic (ADT). Therefore, Mr. Lewan proposed calculating the ADT based on the "specialty retail" category.

Specialty retail uses generate 40.67 trips per 1,000 sq. ft. of gross floor area. Based on that rate, the ADT per day for the proposed dining area would be 176.

According to ITE, the manufacturing portion of the NUBC operation produces approximately 403 ADT (6.97 trips/1,000 sq. ft. of gross floor area), and the NUBC tasting room produces approximately 236 ADT (40.67 trips/1,000 sq. ft. of gross floor area).

To put things in greater perspective, there is approximately 922,569 gross sq. ft. of light industrial and R&D uses currently operating in the Dexter Business and Research Park. Based on ITE factor of 6.97 trips per 1,000 sq. ft. of gross floor area (for light manufacturing), there is an average of 6,430 vehicle trips per days in the industrial park. The proposed dining area would generate approximately 2.7% of the ADT in the industrial park.

Other - No site improvements are being proposed at this time. However, staff observed that improvements to the parking areas are needed.

STAFF FINDINGS

- The total square footage of the dining area and the tasting room would not exceed 15% of the total gross floor area of the NUBC facility.
- The existing tasting room was determined to be a special land use in the RD District.
- The definition of a tasting room includes "food service."
- A dining area, like the tasting room, is accessory in nature to NUBC principal use, a brewery (i.e. manufacturing operations).
- The State Liquor Control Agency does not classify tasting rooms or dining areas within a micro-brewery/brewery as bars, nightclubs, taverns, restaurants. It classifies tasting rooms and dining areas as being an accessory to the brewery, winery, meadery, and distillery, and as such are not required to obtain an additional liquor license.
- Michigan has a healthy and growing craft beer industry.
- The NUBC facility has become a destination.
- Larger craft beer manufacturers are adding full-service restaurants to introduce more customers to their products manufactured on the premises.
- Development standards should be established to 1) avoid the possibility of restaurants with limited on-site manufacturing to located in the RD District and 2) curb retail creep.
- Hours of operation for the proposed dining area should be consistent with those established for the existing tasting room.
- The proposed dining area would generate less than 3% of the ADT in industrial park.
- Parking lot improvements are needed.
- The city has not received any complaints since NUBC opened NULL.

Suggested Motion

Pursuant to Article 3, Section 3.07, The Planning Commission has determined that Northern United Brewing Companies (NUBC) request to permit an expansion of the existing tasting room to include a dining area, which together would not exceed 15% of the total gross floor area of the existing NUBC facility, located at 2319 Bishop Circle East be considered a **(COMPATIBLE USE/INCOMPATIBLE USE)** within the RD Research and Development District. Furthermore, the Planning Commission has determined the proposed dining area shall be considered a **(PERMITTED LAND USE/SPECIAL LAND USE)**. In making this determination the Planning Commission has considered characteristics such as background and history, industry economics, land use, hours of operations, traffic generation, and site improvements, as well as the accessory nature of the dining area to beverage manufacturing and food production, subject to the following conditions:

1. _____
2. _____

OR

The Planning Commission moves to postpone action on the request from Northern United Brewing Company to permit a dining area at 2319 Bishop Circle East until (____date____) to allow more time for the following:

1. _____
2. _____

Please feel free to contact me prior to the meeting if you have any questions. Thank you.



Michigan

OFFICE OF COMMUNITY DEVELOPMENT

8140 Main Street • Dexter, Michigan 48130-1092 • (734) 426-8303 • Fax (734) 426-5614

APPLICATION FOR INTERIOR REMODEL/CHANGE IN TENANT OR USE

This form is to apply for an interior remodel (residential, commercial and/or industrial), change of tenant, or use change within a building, tenant space, or residential structure. Additional requirements may be necessary for change of use as required by Article 21 of the Zoning Ordinance.

Applicants must contact the Washtenaw County Building Department on all projects to verify conformance with the Michigan Building Code and barrier free requirements.

Address of Site: 2319 BISHOP CIRCLE EAST

Name of Business/Tenant: NUH, NUBC

Owner/Applicant Name: Jon A. Carlson Phone: 7346040977

Owner/Applicant Address: 2319 BISHOP CIRCLE EAST

Type of Request: Interior Remodel Change in Tenant Change of Use

Zoning District:

Does change of use require site plan approval? Yes No

Does proposed change meet parking standards? Yes No

Required Attachments:

For interior remodel and change of tenant: Floor Plan. For change of use: Site Plan, if exterior changes are required.

Description of the Project:

Describe the proposed project: ADDITION OF FOOD PRODUCTION EQUIPMENT + INSIDE DINING ROOM

How will the site or building exterior be changed? N/A

How will the site or building interior be changed? PRODUCTION EQUIPMENT + TABLES/BENCH

RECEIVED

JUN 12 2015

CITY OF DEXTER

Application for Interior Remodel/Change in Tenant or Use - Page 2

If change in tenant:

Name of previous tenant/business: _____

Specific activities of previous use: _____

Specific activities of proposed use: _____

Please note that a sign permit is required separately in accordance with Article 7, Signs.

[Signature] 6/10/15
Applicant's Signature Date

Jon A Carlson
Print Applicant's Name

[Signature] 6/10/15
Property Owner's Signature Date

Jon A Carlson
Print Property Owner's Name

Staff Review: Fee: 25.00 Date Received: 6/12/15 Receipt #: 43856
Remodel (Commercial or Residential) \$25.00 fee

	Acceptable		
	Yes	No	N/A
Site/Floor Plan			
Site Plan for proposed use or alteration/remodeling plan/use.			
Floor plan of proposed structure or alteration/remodeling plan/use.			
Elevation views of the proposed structure			
Estimated tap fee or capital charges: _____			

Reviewed by: _____

Approved (Preliminary)

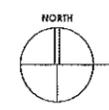
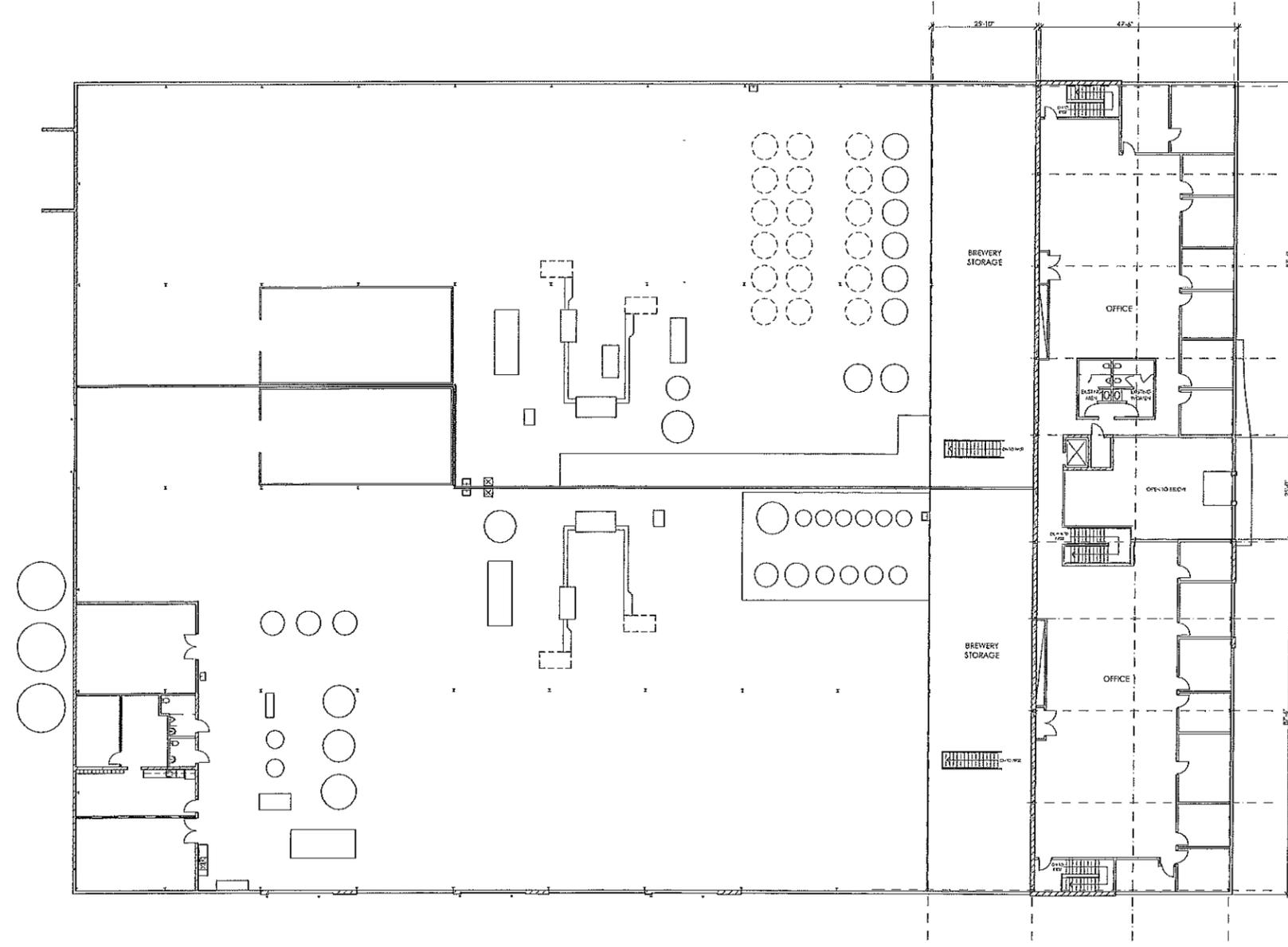
Approved (Final)

Denied

REASONS FOR DENIAL: _____

EXISTING NON-CONFORMITIES/VARIANCES GRANTED: _____

APPROVAL STAMP:



SECOND LEVEL PLAN

SCALE: 1/16" = 1'-0"

BUILDING INFORMATION (SECOND LEVEL):

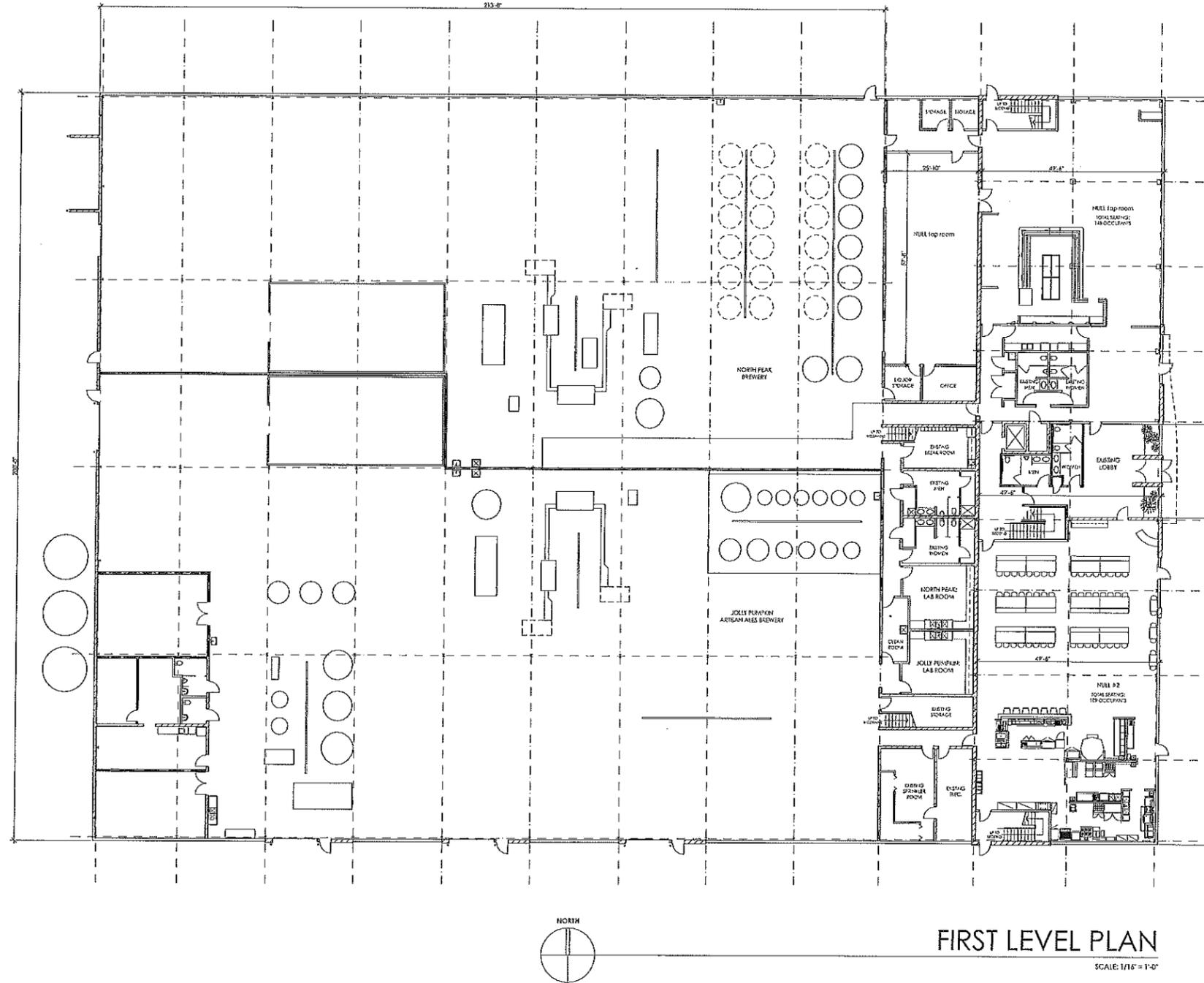
OFFICE	7,580 SF
BREWERY STORAGE	5,170 SF
LOBBY/RESTROOMS	1,050 SF

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ISSUE DATE
08/21/15

ISSUE FOR
VILLAGE OF OVERBROOK SUBMITTAL

PROJECT
NUBC / null tap room
 2319 BISHOP CIRCLE
 DEXTER, MICHIGAN



BUILDING INFORMATION (FIRST LEVEL):

NULL TAP ROOM	4,785 SF
NULL #2	4,000 SF
BREWERY	45,750 SF
LOBBY/RESTROOMS	2,160 SF